WABANAKI WELLNESS RECOVERY HOME; FAMILY & FRIENDS CENTER

WABANAKI PUBLIC HEALTH

40 OXFORD STREET, MILLINOCKET, ME 04462

SYMBOL LEGEND:

CUT DIRECTION

SECTION NUMBER

ELEVATION DIRECTIO

SECTION NUMBER

- ELEVATION NUMBER/

DATUM REFERENCE

EQUIPMENT/ACCESSORY TAG

DIRECTION

KEY NOTE

WINDOW TAG

DOOR NUMBER

ROOM AREA (WHEN APPLICABLE)

EXISTING COLUMN BUBBLE AND

COLUMN BUBBLE AND

ROOM TAG

— ROOM NAME

GRID LINE

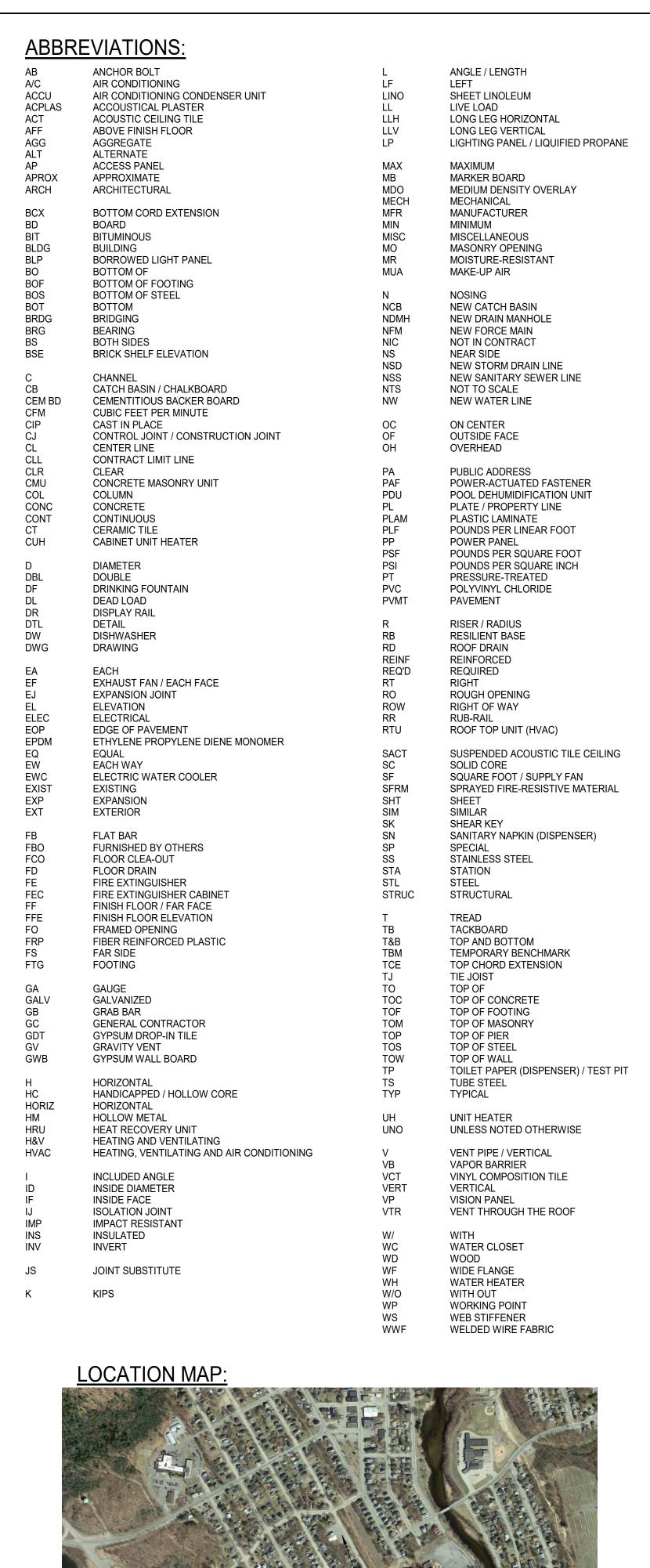
REVISION

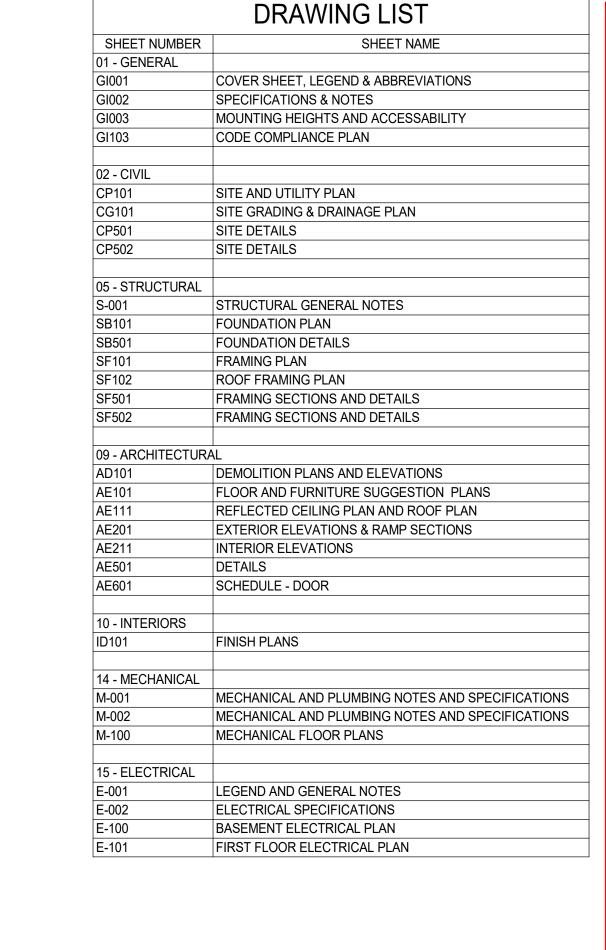
AREA OF REVISION

/#- REVISION NUMBER

REVISION TAG

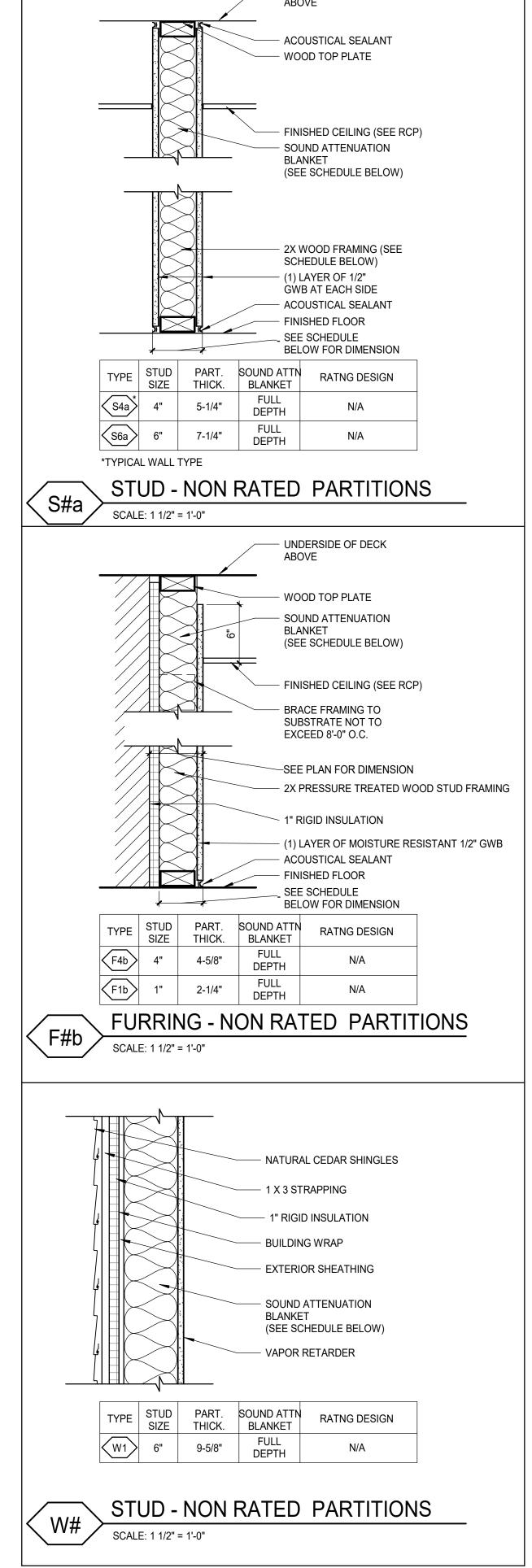
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Value Engineering items for Reduced Scope Rebid

- 1. Reduce front porch size to center area with stairs only. Replace footings per structural notes. Leave existing entry slab in place rather than removing.
- 2. Reduce scope at basement; no program spaces will be finished, provide rough ins for plumbing, mechanical and electrical to unfinished areas, including power for future lift. Provide temporary partition to separate from hallway
- 3. Substitute vinyl lap siding replacement in lieu of cedar shingles at 3 sides and lower front wall, maintaining shingles only at front gable
- 4. NOT USED
- 5. Remove wallpapers from scope
- 6. Remove trees and planting from scope; to be provided by
- Substitute solid surface in lieu of quartz stone.
- 8. Install french drain at perimeter of building, connect underdrain pipe as shown on plan.
- 9. Remove tile in kitchen and bathrooms not deleted in Alternate #4.
- 10. Propose lighting package substitutions with goal of 10% reduction in overall lighting package cost as Alternate #8.
- 11. Propose mechanical system savings as Alternate #9.
- 12. Broadloom carpet in lieu of spec'd carpet tiles.
- 13. NOT USED
- 14. Door #104 replace "SSP-1 Lumicor" with clear tempered
- 15. Kitchen hood-Reduced size
- 16. Reduced scope of bedroom cluster, shell only. Stub utilities, provide only emergency lighting

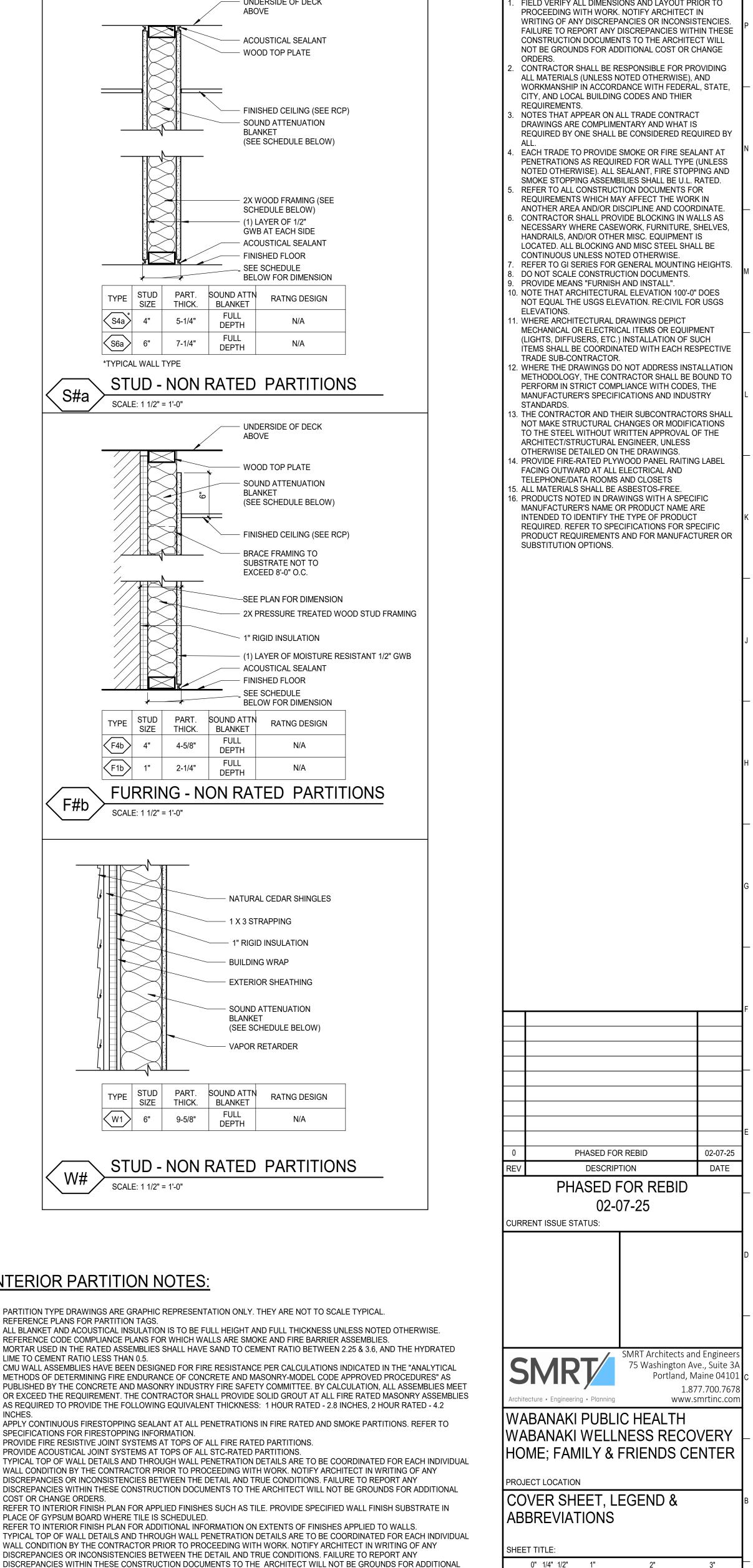


UNDERSIDE OF DECK

INTERIOR PARTITION NOTES:

COST OR CHANGE ORDERS.

- 1. PARTITION TYPE DRAWINGS ARE GRAPHIC REPRESENTATION ONLY. THEY ARE NOT TO SCALE TYPICAL
- 3. ALL BLANKET AND ACOUSTICAL INSULATION IS TO BE FULL HEIGHT AND FULL THICKNESS UNLESS NOTED OTHERWISE 4. REFERENCE CODE COMPLIANCE PLANS FOR WHICH WALLS ARE SMOKE AND FIRE BARRIER ASSEMBLIES. 5. MORTAR USED IN THE RATED ASSEMBLIES SHALL HAVE SAND TO CEMENT RATIO BETWEEN 2.25 & 3.6, AND THE HYDRATED
- LIME TO CEMENT RATIO LESS THAN 0.5. $6.\;\;$ CMU WALL ASSEMBLIES HAVE BEEN DESIGNED FOR FIRE RESISTANCE PER CALCULATIONS INDICATED IN THE "ANALYTICAL METHODS OF DETERMINING FIRE ENDURANCE OF CONCRETE AND MASONRY-MODEL CODE APPROVED PROCEDURES" AS PUBLISHED BY THE CONCRETE AND MASONRY INDUSTRY FIRE SAFETY COMMITTEE. BY CALCULATION, ALL ASSEMBLIES MEET OR EXCEED THE REQUIREMENT. THE CONTRACTOR SHALL PROVIDE SOLID GROUT AT ALL FIRE RATED MASONRY ASSEMBLIES
- APPLY CONTINUOUS FIRESTOPPING SEALANT AT ALL PENETRATIONS IN FIRE RATED AND SMOKE PARTITIONS. REFER TO SPECIFICATIONS FOR FIRESTOPPING INFORMATION.
- 8. PROVIDE FIRE RESISTIVE JOINT SYSTEMS AT TOPS OF ALL FIRE RATED PARTITIONS. 9. PROVIDE ACOUSTICAL JOINT SYSTEMS AT TOPS OF ALL STC-RATED PARTITIONS.
- 10. TYPICAL TOP OF WALL DETAILS AND THROUGH WALL PENETRATION DETAILS ARE TO BE COORDINATED FOR EACH INDIVIDUAL WALL CONDITION BY THE CONTRACTOR PRIOR TO PROCEEDING WITH WORK. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR INCONSISTENCIES BETWEEN THE DETAIL AND TRUE CONDITIONS. FAILURE TO REPORT ANY DISCREPANCIES WITHIN THESE CONSTRUCTION DOCUMENTS TO THE ARCHITECT WILL NOT BE GROUNDS FOR ADDITIONAL COST OR CHANGE ORDERS.
- 11. REFER TO INTERIOR FINISH PLAN FOR APPLIED FINISHES SUCH AS TILE. PROVIDE SPECIFIED WALL FINISH SUBSTRATE IN PLACE OF GYPSUM BOARD WHERE TILE IS SCHEDULED.
- 12. REFER TO INTERIOR FINISH PLAN FOR ADDITIONAL INFORMATION ON EXTENTS OF FINISHES APPLIED TO WALLS. 13. TYPICAL TOP OF WALL DETAILS AND THROUGH WALL PENETRATION DETAILS ARE TO BE COORDINATED FOR EACH INDIVIDUAL WALL CONDITION BY THE CONTRACTOR PRIOR TO PROCEEDING WITH WORK. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR INCONSISTENCIES BETWEEN THE DETAIL AND TRUE CONDITIONS. FAILURE TO REPORT ANY DISCREPANCIES WITHIN THESE CONSTRUCTION DOCUMENTS TO THE ARCHITECT WILL NOT BE GROUNDS FOR ADDITIONAL
- 14. PROVIDE CONTROL JOINTS AND ALLOWANCE FOR PERIMETER MOVEMENT FOR INTERIOR GYPSUM WALLS. LOCATE CONTROL JOINTS TO ALIGN WITH DOOR HEAD OR WINDOW EDGES WHERE POSSIBLE, OR AS INDICATED BY ARCHITECT.
- 15. REFER TO INTERIOR FINISH PLAN FOR ADDITIONAL INFORMATION ON EXTENTS OF FINISHES APPLIED TO WALLS. 16. REFERENCE SPECIFICATIONS FOR LABELING OF FIRE RATED PARTITIONS.
- CAVITIES, ALL PENETRATIONS MUST BE SEALED AND IN STAGGERED CAVITIES. 18. FURRING PARTITIONS TO BE HELD OFF EXTERIOR WALL 1/4" TYPICAL UNLESS NOTED OTHERWISE 19. WOOD BLOCKING/PLYWOOD TO BE FIRE TREATED, TYP.



GENERAL NOTES

SCALE: AS NOTED RSC PROJECT NO: APPROVED BY: 17. AT STC RATED PARTITIONS COORDINATE SUCH THAT ELECTRICAL BOXES IN ADJOINING ROOMS DO NOT SHARE STUD DESIGNED BY: CHECKED BY:

GI001-23039 SHEET No.

DRAWN BY

ALT#1 - NOT USED; PROVIDE BASE BID ONLY

ALT#2 - NOT USED TEMPORARY PARTITION THIS LOCATION ALT#3 - NOT

USED; PROVIDE

BASE BID ONLY

THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT BETWEEN OWNER AND CONTRACTOR, CONDITIONS OF THE CONTRACT, DRAWINGS, SPECIFICATIONS, AGENDA ISSUED PRIOR TO THE EXECUTION OF THE CONTRACT AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE CONTRACT.

THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL.

MECHANICAL, ELECTRICAL AND PLUMBING ARE TO BE DESIGN-BUILD IN ACCORDANCE WITH THE BASIS OF DESIGN FOR THOSE ITEMS NOTED ON DRAWINGS, AND IN COMPLIANCE WITH PERFORMANCE

THE WORK INCLUDES ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES PROVIDED BY THE CONTRACTOR TO FULFILL THE OBLIGATIONS DESCRIBED IN THE CONTRACT DOCUMENTS AND AS REASONABLY INFERABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INDICATEED RESULTS.

EXECUTION OF THE CONTRACT BY THE CONTRACTOR IS A REPRESENTATION THAT THE CONTRACTOR HAS VISITED THE SITE, BECOME GENERALLY FAMILIAR WITH THE LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED, AND CORRELATED PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS.

THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SHALL NOT BE RELIEVED OF ITS OBLIGATIONS TO PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS EITHER BY ACTIVITIES OR DUTIES OF THE ARCHITECT IN THE ARCHITECT'S ADMINISTRATION OF THE CONTRACT.

DIVISION 01 - GENERAL REQUIREMENTS

ALTERNATE 01: WHEELCHAIR LIFT

- A. BASE BID: PROVIDE POWER AND CLEARANCES FOR WHEELCHAIR LIFT B. ALTERNATE: PROVIDE POWER, EQUIPMENT & INSTALL WHEELCHAIR LIFT. BASIS OF DESIGN: CLARITY SERIES BY ASCENSION HTTPS://ASCENSION-LIFT.COM/WHEELCHAIR-LIFTS/ ALTERNATE 02: ACTIVITY ROOM DIVIDER
- A. BASE BID: GLASS WALL SYSTEM AS DESCRIBED IN DIVISION 12 AND ON DRAWINGS, WITH B. ALTERNATE: PARTIAL HEIGHT 2X8 GWB PARTITION WITH WOOD CAP AT 42" AFF, EXTENDING
- PERPENDICULAR 8' FROM EACH SIDE WALL IN LOCATION SHOWN. NO SOFFIT. → ALTERNATE 03: ENCLOSE PORCH AS SUNROOM (FRONT PORCH)
- A. BASE BID: PROVIDE RAILINGS AT OPEN PORCH AS SHOWN. B. ALTERNATE: PROVIDE WOOD FRAME SCREENED PANELS OUTSIDE OF RAILINGS, PROVIDE
- WOOD FRAMED LEXAN PANELS WITH PRESET BOLTS & WINGNUTS INSTALLATION AT TOP & YBQTTOMPAWEL/CQRNERSFOR EASE QFSEASOWAL PAMEL CHANGE, ATTACH TO FRAMING.
- TYPICAL FOR 3 SIDES OF PORCH . PROVIDE (2) SCREEN/STORM DOORS TO MATCH. 4. ALTERNATE 04: RESILIENT FLOORING AT BATHROOMS
- A. BASE BID: CERAMIC FLOOR TILE AT BATHROOMS AS SHOWN ON DRAWINGS B. ALTERNATE: RESILIENT SHEET FLOORING & BASE AT BATHROOMS, INSTALLED WITH FULL BEAD SEALANT BEHIND BASE AT WALL TO FLOOR EDGE. SEE 09 65 16 FOR PRODUCTS.
- 5. PALTERNATE 05: HEATING & COOLING CO A. BASE BID: HEATING PER MECHANICAL DRAWINGS
- B. ALTERNATE: MINI-SPLITS FOR HEATING & COOLING, SEE M-SHEETS. 6. ALTERNATE 06: SPRINKLER SYSTEM A. BASE BID: OMISSION OF RESIDENTIAL SPRINKLER SYSTEM.

B. ALTERNATE: RESIDENTIAL SPRINKLER SYSTEM INSTALLED.

- GENERAL COORDINATION PROCEDURES
- A. COORDINATION: COORDINATE CONSTRUCTION OPERATIONS INCLUDED IN DIFFERENT SECTIONS OF THE SPECIFICATIONS TO ENSURE EFFICIENT AND ORDERLY INSTALLATION OF EACH PART OF THE WORK. COORDINATE CONSTRUCTION OPERATIONS INCLUDED IN DIFFERENT SECTIONS THAT DEPEND ON EACH OTHER FOR PROPER INSTALLATION, CONNECTION, AND OPERATION.
 - a. SCHEDULE CONSTRUCTION OPERATIONS IN SQUENCE REQUIRED TO OBTAIN THE BEST RESULTS, WHERE INSTALLATION OF ONE PART OF THE WORK DEPENDS ON INSTALLATION OF OTHER COMPONENTS, BEFORE OR AFTER ITS OWN INSTALLATION.
 - b. COORDINATE INSTALLATION OF DIFFERENT COMPONENTS TO ENSURE MAXIMUM
 - PERFORMANCE AND ACCESSIBILITY FOR REQUIRED MAINTENANCE, SERVICE, AND REPAIR. c. MAKE ADEQUATE PROVISIONS TO ACCOMMODATE ITEMS SCHEDULED FOR LATER INSTALLATION.
- 2. REQUEST FOR INFORMATION (RFI) A. IMMEDIATELY ON DISCOVERY OF THE NEED FOR ADDITIONAL INFORMATION, CLARIFICATION, OR INTERPRETATION OF THE CONTRACT DOCUMENTS, CONTRACTOR SHALL PREPARE AND SUBMIT A
- RFI IN THE FORM SPECIFIED. a. ARCHITECT WILL RETURN WITHOUT RESPONSE THOSE RFIs SUBMITTED TO ARCHITECT BY OTHER ENTITIES CONTROLLED BY CONTRACTOR.
- b. COORDINATE AND SUBMIT RFIS IN A PROMPT MANNER TO AVOID DELAYS IN CONTRACTOR'S WORK OR WORK OF SUBCONTRACTORS.
- B. CONTENT OF THE RFI: INCLUDE A DETAILED, LEGIBLE DESCRIPTION OF ITEM NEEDING INFORMATION OR INTERPRETATION AND THE FOLLOWING:
- a. PROJECT NAME. b. OWNER NAME. c. OWNER'S PROJECT NUMBER.
- d. NAME OF ARCHITECT (AND CONSTRUCTION MANAGER). e. ARCHITECT'S PROJECT NUMBER.
- f DATE g. NAME OF CONTRACTOR.
- h. RFI NUMBER, NUMBERED SEQUENTIALLY. RFI SUBJECT
- SPECIFICATION SECTION NUMBER AND TITLE AND RELATED PARAGRAPHS, AS APPROPRIATE. DRAWING NUMBER AND DETAIL REFERENCES. AS APPROPRIATE. FIELD DIMENSIONS AND CONDITIONS, AS APPROPRIATE.
- m. CONTRACTOR'S SUGGECTED RESOLUTION. IF CONTRACTOR'S SUGGESTED RESOLUTION IMPACTS THE CONTRACT TIME OR THE CONTRACT SUM, CONTRACTOR SHALL STATE IMPACT IN
- n. CONTRACTOR'S SIGNATURE.
- o. ATTACHMENTS: INCLUDE SKETCHES, DESCRIPTIONS, MEASUREMENTS, PHOTOS, PRODUCT DATA, SHOP DRAWINGS, COORDINATION DRAWINGS, AND OTHER INFORMATION NECESSARY
- TO FULLY DESCRIBE ITEMS NEEDING INTERPRETATION. p. INCLUDE DIMENSIONS, THICKNESSES, STRUCTURAL GRID REFERENCES, AND DETAILS OF AFFECTED MATERIALS, ASSEMBLIES, AND ATTACHMENTS ON ATTACHED SKETCHES. 3. SUBMITTALS & SUBSTITUTIONS
- A. PREPARE AND SUBMIT SUBMITTALS AS PDF UPLOADED TO ONLINE PROJECT MANAGEMENT SOFTWARE WEBSITE, NEWFORMA, HOSTED BY SMRT OR AS AGREED UPON ALTERNATIVE
- B. SUBMITTALS SHALL BE REQUIRED ONLY FOR SUBSTITUTIONS OR OTHER DEVIATIONS FROM THE DRAWINGS, AND FOR ITEMS REQUIRING CONFIRMATION/APPROVAL OR COORDINATION (SUCH AS DOOR HARDWARE AND FINISH MATERIALS). PROPOSE A DRAFT LIST OF SUBMITTALS FOR OWNER & ARCHITECT REVIEW AND APPROVAL BEFORE FIRST PAYMENT APPLICATION AND OFFICIAL SUBMITTAL INDICATION SCOPE AND PROPOSED DATE OF SUBMISSION. C. PROCESSING TIME: INITIAL OR RESUBMITTAL REVIEW: 10 BUSINESS DAYS.
- 4. QUALITY ASSURANCE A. DELEGATED DESIGN SERVICES: FOR PRODUCTS AND SYSTEMS ASSIGNED TO CONTRACTOR TO BE DESIGNED AND CERTIFIED BY CONTRACTOR'S DESIGN PROFESSIONAL, LICENSED IN THE STATE OF MAINE. TO BE IN COMPLIANCE WITH PERFORMANCE AND DESIGN CRITERIA, INCLUDING
- MECHANICAL, FIRE PROTECTION, ETC. B. QUALIFICATIONS: CONTRACTOR'S QUALITY-CONTROL PERSONNEL.
- MANUFACTURER
- FABRICATOR. INSTALLER.
- PROFESSIONAL ENGINEER PERFORMING DELEGATED DESIGN SERVICES. SPECIALISTS.
- TESTING AGENCY.
- MANUFACTURER'S TECHNICAL REPRESENTATIVE. FACTORY-AUTHORIZED SERVICE REPRESENTATIVE. 5. CONSTRUCTION PROGRESS DOCUMENTATION
- A. CONSTRUCTION SCHEDULE B. SCHEDULE OF VALUES
- C. DAILY CONSTRUCTION REPORTS, INCLUDING DIGITAL PHOTOGRAPHS, SUBMITTED WEEKLY D. MEETING MINUTES BY CONTRACTOR
- 6. TEMPORARY FACILITIES & CONTROLS
- A. UTILITIES ARE CONNECTED AND AVAILABLE FOR USE DURING CONSTRUCTION. 7. EXECUTION REQUIREMENTS
- A. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE SYSTEMS AND ASSEMBLIES WHERE REFERRED TO, INCLUDING THE FASTENERS, ADHESIVES, ACCESSORIES AND ANY TRIM
- ASSOCIATED WITH SAID ASSEMBLY OR SYSTEM WHETHER OR NOT EXPLICITLY DESCRIBED IN THE DOCUMENTS. ALL WORK SHALL BE COMPLETED TO MEET CURRENT CODES AND BUILDING STANDARDS.
- B. SUSTAINABLE DESIGN REQUIREMENTS: A. IMPLEMENT A WASTE MANAGEMENT APPROACH USING BEST PRACTICES FOR
- ENVIRONMENTALLY SAFE DISPOSAL OF CONSTRUCTION WASTE. B. MAXIMIZE USE OF MATERIALS WITH HIGH RECYCLED CONTENT. C. REGIONALLY MANUFACTURED AND REGIONALLY EXTRACTED, INCLUDING CERTIFIED WOOD
- D. WHERE EVER POSSIBLE, USE PRODUCTS THAT DO NOT COMPROMISE INDOOR-AIR-QUALITY SUCH AS LOW AND NO VOC OPTIONS.

01 73 29 CUTTING AND PATCHING

- A. CUTTING: REMOVAL OF EXISTING CONSTRUCTION NECESSARY TO PERMIT INSTALLATION OR PERFORMANCE OF OTHER WORK.
- B. PATCHING: FITTING AND REPAIR WORK REQUIRED TO RESTORE SURFACES TO ORIGINAL CONDITIONS AFTER INSTALLATION OF OTHER WORK. 2. STRUCTURAL ELEMENTS: WHERE CUTTING AND PATCHING INVOLVE ADDING REINFORCEMENT TO
- STRUCTURAL ELEMENTS. SUBMIT DETAILS AND ENGINEERING CALCULATIONS SHOWING INTEGRATION OF REINFORCEMENT WITH ORIGINAL STRUCTURE
- 3. ARCHITECT'S APPROVAL: OBTAIN APPROVAL OF CUTTING AND PATCHING PROPOSAL BEFORE
- CUTTING AND PATCHING. APPROVAL DOES NOT WAIVE RIGHT TO LATER REQUIRE REMOVAL AND REPLACEMENT OF UNSATISFACTORY WORK. 4. VISUAL REQUIREMENTS: DO NOT CUT AND PATCH CONSTRUCTION IN A MANNER THAT RESULTS IN VISUAL EVIDENCE OF CUTTING AND PATCHING. DO NOT CUT AND PATCH CONSTRUCTION EXPOSED ON THE EXTERIOR OR IN OCCUPIED SPACES IN A MANNER THAT WOULD. IN ARCHITECT'S OPINION.
- REDUCE THE BUILDING'S AESTHETIC QUALITIES. REMOVE AND REPLACE CONSTRUCTION THAT HAS BEEN CUT AND PATCHED IN A VISUALLY UNSATISFACTORY MANNER. 5. EXISTING MATERIALS: USE MATERIALS IDENTICAL TO EXISTING MATERIALS. FOR EXPOSED SURFACES. USE MATERIALS THAT VISUALLY MATCH EXISTING ADJACENT SURFACES TO THE FULLEST
- EXTENT POSSIBLE. IF IDENTICAL MATERIALS ARE UNAVAILABLE OR CANNOT BE USED, USE MATERIALS THAT, WHEN INSTALLED, WILL MATCH THE VISUAL AND FUNCTIONAL PERFORMANCE OF EXISTING MATERIALS.
- 6. CUTTING: CUT EXISTING CONSTRUCTION BY SAWING, DRILLING, BREAKING, CHIPPING, GRINDING, AND SIMILAR OPERATIONS, INCLUDING EXCAVATION, USING METHODS LEAST LIKELY TO DAMAGE ELEMENTS RETAINED OR ADJOINING CONSTRUCTION. IF POSSIBLE, REVIEW PROPOSED PROCEDURES WITH ORIGINAL INSTALLER; COMPLY WITH ORIGINAL INSTALLER'S WRITTEN RECOMMENDATIONS. 7. PATCHING: PATCH CONSTRUCTION BY FILLING. REPAIRING. REFINISHING. CLOSING UP. AND SIMILAR

SPECIFIED IN OTHER SECTIONS OF THESE SPECIFICATIONS.

OPERATIONS FOLLOWING PERFORMANCE OF OTHER WORK. PATCH WITH DURABLE SEAMS THAT ARE

- **DIVISION 02 EXISTING CONDITIONS** SUMMARY
- 1. OWNER WILL NOT OCCUPY THE SPACE DURING CONSTRUCTION, BUT MAY ACCESS AND SELF-PERFORM WORK IN AREAS OF THE BUILDING NOT IN THIS SCOPE.
- 2. PLEASE SEE OWNER-PROVIDED REPORT. IN THE EVENT THAT ANY HAZARDOUS MATERIALS ARE ENCOUNTERED, PLEASE NOTIFY OWNER IMMEDIATELY FOR DIRECTION.

- 1. ALL CONCRETE WORK SHALL CONFORM TO ACI 318-08 AND 301-05. CEMENT SHALL COMPLY WITH ASTM C150 TYPE II; AGGREGATES (NORMAL WEIGHT) SHALL COMPLY WITH ASTM C33.
- 2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 4000 PSI UNLESS OTHERWISE NOTED; SUBMIT DESIGN MIX FOR REVIEW AND APPROVAL OF THE STRUCTURAL ENGINEER OF RECORD. INCLUDE MATERIAL CERTIFICATES FOR CEMENTITIOUS MATERIALS, ADMIXTURES AND AGGREGATES. EACH ADMIXTURE, AGGREGATE AND CEMENTITIOUS PRODUCT SHALL BE SOURCED FROM A SINGLE DISTRIBUTOR AND MANUFACTURER.
- 3. ALL CONCRETE EXPOSED TO FREEZING SHALL HAVE A 6% AIR CONTENT (+/-1%). ALL THE OTHER CONCRETE SHALL BE NON-AIR ENTRAINED, WITH 3.0% MAXIMUM AIR CONTENT.
- 4. CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND. WHEN AVERAGE OF HIGH AND LOW TEMPERATURE IS EXPECTED TO FALL BELOW 40° (F) FOR THREE DAYS PROVIDE BLANKETS OR OTHER MEANS OF PROTECTION FOR CURING CONCRETE IN CONFORMANCE WITH
- 5. CONSOLIDATE CONCRETE WITH MECHANICALLY VIBRATING EQUIPMENT IN ACCORDANCE WITH ACI 301; CONTRACTOR IS TO HAVE TWO (2) OPERATIONAL VIBRATORS AT THE WORK SITE TO SAFEGUARD AGAINST MECHANICAL FAILURE DURING PLACEMENT.

ACI 301. DO NOT USE FROZEN MATERIALS OR MATERIALS CONTAINING ICE OR SNOW.

- REINFORCING BARS SHALL CONFORM TO ASTM A-615 GRADE 60 DEFORMED BARS AND SHALL BE DETAILED, FABRICATED, AND PLACED IN ACCORDANCE WITH ACI 315-LATEST EDITION. REINFORCING SHALL BE INSPECTED PRIOR TO PLACEMENT OF CONCRETE.
- 7. SPLICES OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH ACI 318, UNLESS OTHERWISE NOTED ON DRAWINGS.
- 8. EMBEDDED ITEM INSTALLATION: PLACE AND SECURE ANCHORAGE DEVICES AND OTHER EMBEDDED ITEMS REQUIRED FOR ADJOINING WORK THAT IS ATTACHED TO OR SUPPORTED BY CAST-IN-PLACE CONCRETE. USE SETTING DRAWINGS, TEMPLATES, DIAGRAMS, INSTRUCTIONS, AND DIRECTIONS FURNISHED WITH ITEMS TO BE EMBEDDED. INSTALL ANCHOR RODS, ACCURATELY LOCATED, TO ELEVATIONS REQUIRED AND COMPLYING WITH TOLERANCES IN SECTION 7.5 OF AISC 303.
- 9. CONCRETE PLACEMENT: BEFORE PLACING CONCRETE. VERIFY THAT INSTALLATION OF FORMWORK, REINFORCEMENT, AND EMBEDDED ITEMS IS COMPLETE AND THAT REQUIRED INSPECTIONS ARE COMPLETED. DO NOT ADD WATER TO CONCRETE DURING DELIVERY, AT PROJECT SITE, OR DURING PLACEMENT UNLESS APPROVED BY ENGINEER OF RECORD. IF APPROVED, WATER ADDED AT PROJECT SITE MUST BE DONE BEFORE TEST SAMPLING AND PLACING CONCRETE AND SUBJECT TO LIMITATIONS OF ACI 301. DO NOT ADD WATER TO CONCRETE AFTER ADDING HIGH-RANGE WATER-REDUCING ADMIXTURES TO MIXTURE. DEPOSIT CONCRETE CONTINUOUSLY IN ONE LAYER OR IN HORIZONTAL LAYERS OF SUCH THICKNESS THAT NO NEW CONCRETE IS PLACED ON CONCRETE THAT HAS HARDENED ENOUGH TO CAUSE SEAMS OR PLANES OF WEAKNESS. IF A SECTION CANNOT BE PLACED CONTINUOUSLY, PROVIDE CONSTRUCTION JOINTS AS INDICATED. DEPOSIT CONCRETE TO AVOID SEGREGATION.
- 10. COMPLETE SHOP DRAWINGS OF ALL REINFORCING STEEL SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO COMMENCEMENT OF THAT PORTION OF THE WORK.
- SUMMARY: SCOPE OF CONCRETE MASONRY UNIT WORK IS LIMITED TO CUTTING, PATCHING & REPAIR OF EXISTING CMU WALL CONSTRUCTION FOUND AT NEW OPENINGS.

DIVISION 05 - METALS

4. MATERIALS:

SUMMARY: SCOPE INCLUDES, BUT NOT LIMITED TO, MISCELLANEOUS METAILS SUCH AS HANDRAIL & SIGN

05 50 00 METAL FABRICATIONS

- THIS SECTION INCLUDES: A. MISCELLANEOUS METAL FABRICATIONS TO SUPPORT WORK OF OTHER TRADES
- 2. FIELD MEASUREMENTS: WHERE METAL-FABRICATIONS ARE INDICATED TO FIT WALLS AND OTHER CONSTRUCTION, VERIFY DIMENSIONS BY FIELD MEASUREMENTS BEFORE FABRICATION AND INDICATE MEASUREMENTS ON SHOP DRAWINGS. COORDINATE FABRICATION SCHEDULE WITH CONSTRUCTION PROGRESS TO AVOID DELAYING THE WORK.
- 3. COORDINATE INSTALLATION OF ANCHORAGES FOR METAL FABRICATIONS. FURNISH SETTING DRAWINGS, TEMPLATES, AND DIRECTIONS FOR INSTALLING ANCHORAGES, INCLUDING SLEEVES, CONCRETE INSERTS, ANCHOR BOLTS, AND ITEMS WITH INTEGRAL ANCHORS, THAT ARE TO BE EMBEDDED IN CONCRETE OR MASONRY. DELIVER SUCH ITEMS TO PROJECT SITE IN TIME FOR INSTALLATION.
- A. STEEL PLATES. SHAPES. AND BARS: ASTM A 36/A 36M. AND 316L AT CORROSIVE ENVIRONMENTS... B. STAINLESS-STEEL SHEET, STRIP, PLATE, AND FLAT BARS: ASTM A 666, TYPE 304.
- C. STAINLESS-STEEL BARS AND SHAPES: ASTM A 276, TYPE 304. D. NON-SHRINK, NONMETALLIC GROUT: FACTORY-PACKAGED, NON-STAINING, NONCORROSIVE, NONGASEOUS GROUT COMPLYING WITH ASTM C 1107. PROVIDE GROUT SPECIFICALLY
- RECOMMENDED BY MANUFACTURER FOR INTERIOR AND EXTERIOR APPLICATIONS. SHOP ASSEMBLY: PREASSEMBLE ITEMS IN SHOP TO GREATEST EXTENT POSSIBLE TO MINIMIZE FIELD SPLICING AND ASSEMBLY. DISASSEMBLE UNITS ONLY AS NECESSARY FOR SHIPPING AND HANDLING LIMITATIONS. USE CONNECTIONS THAT MAINTAIN STRUCTURAL VALUE OF JOINED PIECES. CLEARLY

MARK UNITS FOR REASSEMBLY AND COORDINATED INSTALLATION.

DIVISION 06 - WOOD, PLASTICS & COMPOSITES

- SUMMARY: SCOPE OF WORK INCLUDES WOOD FRAMING OF ROUGH CARPENTRY & BLOCKING, SUB-FLOOR SHEATHING WHERE INDICATED ON DRAWINGS, LIMITED HEAVY TIMBER FRAMING, AND FINISH CARPENTRY INCLUDING OPENING FRAMES & TRIM AS WELL AS INSTALLATION OF SOLARIUM. REGIONALLY SOURCED WOOD MATERIALS TO BE USED WHEREEVER POSSIBLE.
- 1. INTERIOR DIMENSIONAL LUMBER FRAMING PRODUCTS TO BE CONSTRUCTION GRADE WITH MAXIMUM MOISTURE CONTENT 15%.
- WOOD PERSERVATIVE TREATED LUMBER TO BE USED AT ANY LOCATION WITH EXTERIOR EXPOSURE OR CONTACT TO MASONRY, ROOFING OR WATERPROOFING MATERIALS. A. PRESERVATIVE CHEMICALS: CONTAINING NO ARSENIC OR CHROMIUM. 3. INTERIOR TRIM & ARCHITECTURAL WOODWORK TO BE POPLAR, GRADE A FOR PAINTING AND KNOTTY
- PINE FOR CLEAR FINISH. 4. PLASTIC LAMINATE CLAD CABINETS -A. HIGH PRESSURE PLASTIC LAMINATE FOR MILLWORK CABINETRY BODIES; COLOR AND PATTERN TO BE SELECTED FROM MANUFACTURER'S STANDARD LINE. REFER TO FINISH SCHEDULE.
- Postformed Surfaces: Grade HGP Vertical Surfaces: Grade VGS . Pattern Direction: Vertical for drawer fronts, doors and fixed panels.
- A. EDGES OF DRAWER AND DOOR FRONTS: PVC TAPE, 0.018" MIN THICKNESS, MATCHING LAMINATE IN COLOR, PATTERN & FINISH YBY ENGES OF PLASTIC DAMMAYE SHELVES: PVC TYMOLD, MATCHING DAMMAYE IN COLOR, PATTERN &
- C. COUNTERTOPS: QUARTZ STONE, 3 CM, POLISHED FINISH, EASED EDGE E. CASEWORK HARDWARE:
 A. FRAMELESS CONCEALED HINGES (EUROPEAN TYPE): ANSI/BHMA A156.9, BO1602, 170 DEGREES OF OPENING, SELF CLOSING.
- B. DRAWER SLIDES: ANSI/BHMA A156.9. GRADE 1 HD-100 SIDE MOUNT, FULL EXTENSION COMMERCAIL GRADE ZINC PLATED STEEL WITH POLYMER ROLLERS.
- C. DECORATIVE PULLS: (BRASS) HAFELE MULBERRY COLLECTION #116.36.606, BRUSHED NICKEL

DIVISION 07 - THERMAL & MOISTURE PROTECTION

. Horizontal Surfaces: Grade HGS

- SUMMARY: SCOPE INCLUDES UPGRADING EXISTING BUILDING SHELL AND NEW WORK TO PROVIDE INTEGRITY TO THE ENVELOPE FOR IMPROVED PERFORMANCE. IN ADDITION TO NEW SIDING, NEW ROOFING AT PORCHES, PATCHING AT EXISTING ROOF, PATCH & REPAIR ABANDONED OPENINGS, DAMAGED MATERIALS AND INSULATE THROUGHOUT.
- ROOFING A. METAL ROOFING LIMITED TO PATCH & REPAIR, IF REQUIRED, AT EXISTING. B. ARCHITECTURAL ROOFING SHINGLES; SUBMIT FULL RANGE OF MFR COLORS FOR SELECTION.
- a. APPLY SELF-ADHERING ROOF MEMBRANE AT ALL EAVES, RIDGES, VALLEYS, CRICKETS, JOINTS, AND PENETRATIONS PRIOR TO INSTALLING ROOFING. C. SIDING: AS INDICATED ON DRAWINGS.
- INSULATION A. ACOUSTIC BATT INSULATION TYPICAL AT INTERIOR PARTITIONS. B. RIGID BOARD INSULATION: USE Owens Corning FOAMULAR® 150 extruded polystyrene insulation, OR
- a. ACCESSORIES: USE Owens Corning JointSealR Foam Joint Tape OR EQUAL C. MINERAL WOOL BATT: PRICE ALTERNATE FOR ROCKWOOL EXTERIOR WALLS TO REPLACE
- D. BLOWN IN ATTIC INSULATION: CELLULOSE E. USE LOW EXPANSION FOAM WHERE SPRAY FOAM APPLIED AT DOOR AND WINDOW INSTALLATIONS,

07 92 00 JOINT SEALANTS

- 1. PROVIDE SEALANTS BETWEEN DISSIMILAR MATERIALS AND WHERE MOVEMENT IS ANTICIPATED. USE APPROPRIATE SEALANT FOR VARYING APPLICATIONS; FIRE-RATINGS, ACOUSTICAL SEALS, WET OR EXTERIOR & INTERIOR FINISH LOCATIONS INCLUDING BUT NOT LIMITED TO NOTED BELOW. USE LATEX AND LOW-EMITTING SEALANTS WHERE ALLOWED.
- 2. GENERAL SEALANTS: DOW 795 SILICONE: CLEAR 3. CAULK AROUND DOOR FRAMES: LATEX SEALANT: WHITE 4. SEALANT AROUND PLUMBING FIXTURES AND AT JUNCTIONS BETWEEN COUNTERS AND WALLS:
- SILICONE ANTI-FUNGICIDAL: WHITE 5. PROVIDE OPEN BACKER RODS WHERE REQUIRED PER SEALANT MANUFACTURER'S
- **DIVISION 08 DOORS & WINDOWS**

RECOMMENDATIONS

INTERIOR STILE & RAIL WITH RAISED PANELS WITH SOLID LUMBER FRAMES, FOR CLEAR/TRANSPARENT FINISH.

- 08 70 00 DOOR HARDWARE
- 1. COMPLY WITH THE REQUIREMENTS OF BHMA AND APPLICABLE CODES INCLUDING ADA 2. HARDWARE TO INCLUDE: A. HINGES
- B. LOCKS AND LATCHES C. OVERHEAD DOOR CLOSERS
- D. DOOR STOPS (WALL AND FLOOR MOUNTED) 3. FINISH: SATIN STAINLESS (US32D)

2. PREPARE DOORS TO RECEIVE FINISHED HARDWARE

- 4. COORDINATE KEYING WITH OWNER REQUIREMENTS 5. COORDINATE SECURITY SYSTEMS (IF REQUIRED BY OWNER) WITH HARDWARE INCLUDING ELECTRIC STRIKES AND /OR MAGNETIC LOCKS
- DOOR HARDWARE LEGEND:
- SET 1: PASSAGE LEVER SET, HINGES, DOOR STOP SET 2: OFFICE LEVER SET, HINGES, DOOR STOP, E. EXTERIOR THRESHOLDS
- SET 3: STORAGE LEVER SET. HINGES, CLOSER, DOOR STOP
- SET 4: PEMKO (OR EQUAL) SLIDING DOOR HARDWARE SET, (2) PULLS SET 5: EXIT HARDWARE; PUSH BAR INTERIOR, LEVER EXTERIOR, HINGES, CLOSER, THRESHOLD SET 6: PRIVACY LEVER SET, HINGES
- SET 7: PASSAGE LEVER SET, CLOSER, HINGES SET 8: ENTRY LATCH SET, CONFIRM LOCKING MECHANISM WITH OWNER SET 8A: ENTRY LEVER SET, ADA THRESHOLD, CONFIRM LOCKING MECHANISM WITH OWNER

1. EXTERIOR - VINYL, INSULATED GLASS. DOUBLE HUNG TO MATCH EXISTING AS CLOSE AS POSSIBLE, AND FIXED CASEMENTS.

08 88 00 GLAZING

- 1. GLAZING ALL GLASS AT DOORS, BORROWED LITES TO BE FULLY TEMPERED, CLEAR GLASS, UNLESS OTHERWISE NOTED.
- 2. THICKNESS PER FABRICATOR RECOMMENDATIONS FOR SIZES AND IN ACCORDANCE WITH SAFETY GLAZING REQUIREMENTS OF BUILDING CODE. INSTALLED WITH GLAZING FILMS OR SILICONE SEALANTS AS APPROPRIATE.

DIVISION 09 - FINISHES (SEE ALSO ID SHEET)

- A. GWB PARTITIONS SEE TYPICAL WALL TYPE, SHEET GI001 B. ACOUSTICAL CEILING SYSTEM
- WOOD FLOORING EXISTING TO REMAIN, PROTECT & REFINISH D. RESILIENT SHEET E. TILE CARPETS
- 09 21 16 GYPSUM BOARD ASSEMBLIES
- 1. GENERAL: COMPLYING WITH ASTM C 1396/C 1396M, AS APPLICABLE TO TYPE OF GYPSUM BOARD INDICATED AND WHICHEVER IS MORE STRINGENT.
- MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS
- BY ONE OF THE FOLLOWING: A. G-P GYPSUM.
- B. LAFARGE NORTH AMERICA INC NATIONAL GYPSUM COMPANY. D. USG CORPORATION
- 2. CEILING TYPE: MANUFACTURED TO HAVE MORE SAG RESISTANCE THAN REGULAR-TYPE GYPSUM BOARD. THICKNESS: 1/2" U.N.O. OR 5/8 INCH AS REQUIRED TO ALIGN WITH EXISTING CONDITIONS.
- . MOISTURE- AND MOLD-RESISTANT TYPE: WITH MOISTURE- AND MOLD-RESISTANT CORE AND
- SURFACES. A. CORE: 1/2 INCH (15.9 MM) B. LONG EDGES: TAPERED.
- INTERIOR TRIM: ASTM C 1047. MATERIAL: GALVANIZED OR ALUMINUM-COATED STEEL SHEET OR ROLLED ZINC. SHAPES:
- A. CORNERBEAD. B. LC-BEAD: J-SHAPED; EXPOSED LONG FLANGE RECEIVES JOINT COMPOUND. C. CURVED-EDGE CORNERBEAD: WITH NOTCHED OR FLEXIBLE FLANGES. JOINT TREATMENT: GENERAL: COMPLY WITH ASTM C 475/C 475M.
- 6. JOINT COMPOUND FOR INTERIOR GYPSUM WALLBOARD: FOR EACH COAT USE FORMULATION THAT IS COMPATIBLE WITH OTHER COMPOUNDS APPLIED ON PREVIOUS OR FOR SUCCESSIVE .A. PREFILLING: AT OPEN JOINTS AND DAMAGED SURFACE AREAS, USE SETTING-TYPE TAPING COMPOUND.
- B. EMBEDDING AND FIRST COAT: FOR EMBEDDING TAPE AND FIRST COAT ON JOINTS, FASTENERS, AND TRIM FLANGES, USE DRYING-TYPE, ALL-PURPOSE COMPOUND. USE SETTING-TYPE COMPOUND FOR INSTALLING PAPER-FACED METAL TRIM ACCESSORIES

C. FILL COAT: FOR SECOND COAT, USE DRYING-TYPE, ALL-PURPOSE COMPOUND. D. FINISH COAT: FOR THIRD COAT, USE DRYING-TYPE, ALL-PURPOSE COMPOUND. PROVIDE A LEVEL 4 FINISH AT WALLCOVERING LOCATIONS.

EFFECTIVENESS. COMPLY WITH TCNA FOR INSTALLATION.

- 09 30 00 CERAMIC TILING
- REFER TO DRAWINGS AND FINISH LEGEND 1. WALL TILE: THINSET
- . GROUT: EPOXY AT KITCHEN AND BATHROOM PORCELAIN FLOOR TILE: SEAL SEAMS BETWEEN MEMBRANE SHEETS PER MANUFACTURER'S INSTRUCTIONS TO PREVENT MOISTURE INTRUSION AND TO PROTECT ADJACENT WALLS AND BUILDING MATERIALS. BASE FLASHING FOR MAXIMUM

09 51 00 ACOUSTIC PANEL CEILING

-REFER TO DRAWINGS AND FINISH LEGEND

AND GROUND

6. ALTERNATE FLOORING TO PFT-1:

09 65 13 RESILIENT BASE AND ACCESSORIES PROVIDE ADA COMPLIANT FLOOR TRANSITIONS AS REQUIRED BETWEEN DIIFFERENT FLOORING MATERIALS, TARKETT OR EQUAL. COORDINATE COLOR TO BLEND IN WITH FLOOR

COVERING COLOR WHERE EXPOSED.

- 09 65 16 RESILIENT SHEET FLOORING: 1. MUST BE COMMERCIAL-GRADE, SLIP RESISTANT FOR WET ENVIRONMENTS AND GREASE RESISTANT. CLASS BfI-S1 according to EN 13501-1. FULLY TESTED TO ASTM E648 AND HAVE A
 - CLASS 1 RATING. GERBERT 2300 2 PART URETHANE FLOORING ADHESIVE PROVIDE COVE STICK AND TOP CAP ACCESSORIES AS RECOMMENDED BY MANUFACTURER
 - 4. HEAT WELDED SEAMS REFER TO FINISH LEGEND 5. WOOD SUB FLOOR PREP FOR NEW FLOORING, TYPICAL REQUIREMENTS A. PLYWOOD UNDERLAYMENT TO BE CLEAN AND FREE OF DIRT, DUST, PAINT AND OIL B. MINIMUM 18 INCHES OF CROSS-VENTILATED SPACE BETWEEN BOTTOM OF JOIST
 - C. MUST MEET LOCAL AND NATIONAL BUILDING CODES. REFER TO ASTM F 1482 STANDARD PRACTICE FOR INSTALLATION AND PREPARATION OF PANEL TYPE UNDERLAYMETNS TO RECEIVE RESILIENT FLOORING D. SINGLE FLOOR TONGUE & GROOVE SUBFLOORS MUCT BE COVERED WITH 1/4 INCH
 - OR 1/2 INCH APA APPROVED UNDERLAYMENT PLYWOOD. E. COUNTERSINK NAIL HEADS AND FILL DEPRESSIONS, JOINTS, CRACKS, GOUGES AND CHIPPED EDGES WITH GOOD QUALITY PORTLAND CEMENT F. BASED PATCHING COMPOUND DESIGNED FOR THIS PURPOSE. *DO NOT INSTALL OVER OSB, PARTICLE BOARD, CHIPBOARD, LAUAN OR COMPOSITE-TYPE
 - UNDERLAYMENTS. G. PLYWOOD SUBSTRATE MUST BE SEALED TO ACCEPT ADHESIVE. FOLLOW FLOORING MANUFACTURER'S WRITTEN RECOMMENDATIONS FOR INSTALLATION ON WOOD

A. SHEET VINYL: SV-1, MANNINGTON COMMERCIAL, ASSURANCE II, SLIP RESISTANT SHEET

a. IF THIS ALTERNATE IS SELECTED, USE TARKETT MILLWORK BASE, MONUMENT 4-

INCH MEDIUM PEWTER #38, MW-38-S25.IN LIEU OF THE PTB-1 BASE.

WITH QUANTAUM GUARD. COLOR: THUNDERCLOUD.

09 68 00 TILE CARPETING

- REFER TO DRAWINGS AND FINISH LEGEND
- 1. 6,6 NYLON, 100% SOLUTION DYED 2. BACKING FOR CPT TO BE SUSTAINA, PVC-FREE MODULAR BACKING 3. ADHESIVE: ATLAS I MASLAND MODULAR TILE ADHESIVE. PROVIDE MASLAND MOISTURE SEALER AND SUB FLOOR PREPARATION AS RECOMMENDED BY MANUFACTURER'S WRITTEN

- INSTRUCTIONS 4. WOOD SUB FLOOR PREP FOR NEW FLOORING, TYPICAL REQUIREMENTS
- A. PLYWOOD UNDERLAYMENT TO BE CLEAN AND FREE OF DIRT, DUST, PAINT AND OIL
- B. MINIMUM 18 INCHES OF CROSS-VENTILATED SPACE BETWEEN BOTTOM OF JOIST AND
- C. MUST MEET LOCAL AND NATIONAL BUILDING CODES. REFER TO ASTM F 1482 STANDARD PRACTICE FOR INSTALLATION AND PREPARATION OF PANEL TYPE
- UNDERLAYMETNS TO RECEIVE RESILIENT FLOORING. D. SINGLE FLOOR TONGUE & GROOVE SUBFLOORS MUCT BE COVERED WITH 1/4 INCH
- OR 1/2 INCH APA APPROVED UNDERLAYMENT PLYWOOD. E. COUNTERSINK NAIL HEADS AND FILL DEPRESSIONS, JOINTS, CRACKS, GOUGES AND
- CHIPPED EDGES WITH GOOD QUALITY PORTLAND CEMENT F. BASED PATCHING COMPOUND DESIGNED FOR THIS PURPOSE. *DO NOT INSTALL OVER OSB, PARTICLE BOARD, CHIPBOARD, LAUAN OR COMPOSITE-TYPE
- UNDERLAYMENTS. G. PLYWOOD SUBSTRATE MUST BE SEALED TO ACCEPT ADHESIVE. FOLLOW FLOORING MANUFACTURER'S WRITTEN RECOMMENDATIONS FOR INSTALLATION ON WOOD

SUBFLOOR.

- A. PROVIDE PAINT PRODUCTS FROM THE SAME MANUFACTURER. PREP SURFACES IN ACCORDANCE
- WITH MANUFACTURER REQUIREMENTS A. PRIMER AT DRYWALL: SHERWIN WILLIAMS, PROMAR 200 ZERO VOC INTERIOR LATEX PRIMER B. PRIMER AT NEW DRYWALL FOR WALLCOVERING: PIGMENTED PRIMER, EQUAL TO ZINSSER'S
- DRYWALL, FOLLOW MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION. C. PRIMER FOR PAINTED WOOD AND TRIM: SHERWIN WILLIAMS, MULTIPURPOSE LATEX PRIMER/SEALER. SEAL KNOTS BEFORE APPLYING PRIMER

SHIELDZ PRIMER OR ROMAN'S ULTRA PRESMIUM PRO 997. TEST LOCATIONS FOR EXISTING

- D. FINISH COATS (2) AT DRYWALL SURFACES: SHERWIN WILLIAMS, PROMAR 200 ZERO VOC INTERIOR LATEX EG-SHEL E. FINISH COATS (2) for PAINTED WOOD TRIM: SHERWIN WILLIAMS, PROMAR 200 ZERO VOC
- INTERIOR LATEX SEMI-GLOSS F. PROVIDE EPOXY PAINT AT ALL KITCHEN AND BATHROOM WALL AND CEILING SURFACES. SHERWIN WILLIAMS LOW-ODER/VOC WATER BASED EPOXY SYSTEM G. CONCRETE PAINT FOR FLOORS. SHERWIN WILLIAMS EPO-FLEX MER II SYSTEM. TOTAL
- YEARS' EXPERIENCE APPLYING RESINOUS PRODUCT, PROVIDE LIST OF PROJECTS. H. EXTERIOR PAINT FOR METAL ROOF: SHERWIN-WILLIAMS UNIFLEX ROOF PRODUCTS OR EQUAL. BASIS OF DESIGN COLOR: 2835 CRAFTSMAN BROWN - SUBMIT COLOR SAMPLES FOR

. EXTERIOR PAINT FOR FOUNDATION WALLS: SHERWIN-WILLIAMS RESILIENCE EXTERIOR

ACRYLIC PRODUCTS OR EQUAL. BASIS OF DESIGN COLOR: 2835 CRAFTSMAN BROWN -

REMOVAL OF EXISTING COATINGS.TEST FLOOR FOR MOISTURE. FOLLOW SW SYSTEM

INSTRUCTIONS FOR FLOOR PREPARATION AND APPLICATION. APPLICATOR MUST HAVE 5

SUBMIT COLOR SAMPLES FOR FINAL SELECTION.

09 93 00 STAINING AND TRANSPARENT FINISH

- A. INTERIOR TRANSPARENT, MANUFACTURER'S LOW-SHEEN.
- B. CLEAR FINISH (3 COATS) AT PINE, U.N.O. VERIFY COMPATABILITY OF FINISH WITH

A. COATHOOK BOARDS AT THE FOLLOWING QUANTITIES; CONFIRM FINAL LOCATIONS.

MANUFACTURER'S RECOMMENDATIONS. C. FINISH FOR EXISTING WOOD FLOORS: SAND AND PREP FOR NEW FINISH, BONA TRAFFIC OR

DIVISION 10 - SPECIALTIES 1. TOILET ACCESSORIES: PROVIDE & INSTALL GRAB BARS & ROBE HOOKS & 3-HOOK COATHOOK

FINAL SELECTION

- 2 @ ENTRY 019 2 @ ENTRY 114 1 @ BATH 102
- 1 @ POWDER 111 1 @ SHOWER 111A B. ROBE HOOKS AT THE FOLLOWING QUANTITIES; CONFIRM FINAL LOCATIONS.

BOARDS. (TOILET PAPER HOLDERS & PAPER TOWEL DISPENSERS BY OWNER)

3. WINDOW TREATMENTS BY OWNER 10 44 00 FIRE PROTECTION SPECIALTIES

2. SHOWER ENCLOSURE: SEE M-DRAWINGS.

1. PRODUCTS INCLUDE: A. PORTABLE FIRE EXTINGUISHERS AND MOUNTING BRACKETS FOR WALL MOUNTED UNITS 2. MANUFACTURERS:

B. LARSEN'S MANUFACTURING COMPANY

• 1 @ BATHROOMS 121, 122, 128, 110, 006, 007

C. POTTER-ROEMER **DIVISION 11 - EQUIPMENT** 1. KITCHEN APPLIANCES WILL BE PROVIDED BY OWNER, INCLUDING BUT NOT LIMITED TO

CONTRACTOR SHALL PROTECT, MODIFY OR PROVIDE HOOKUPS AS REQUIRED. COORDINATE WITH OWNER FOR FINAL EQUIPMENT LIST.

A. JL INDUSTRIES

DIVISION 12 - FURNISHINGS

A. REFRIGERATOR(S), COFFEE MAKERS, FRYOLATOR, OVENS, GAS RANGE COOKTOP.

- 1. OWNER WILL FURNISH WINDOW SHADES, FREESTANDING FURNISHINGS & EQUIPMENT. 2. BASIS OF DESIGN GLASS WALL SYSTEM: TEKNION TEKVUE
- A. TEKVUE BASE AND CEILING FRAME SYSTEM, 1-3/8" X 2-3/8" NOMINAL. FINISH: VERY WHITE B. CEILING ADJUSTEMNT RANGE: +3/4", -3/4". FLOOR ADJUSTMENT RANGE: +1/2", -1/4" C. TEMPERED CLEAR STANDARD GLAZING, 12MM WITH GLASS CONNECTOR TAPE
- D. PROVIDE TEKVUE APPLIED 1" VERTICAL MULLIONS TO GLAZING, BOTH SIDES, FINISH: VERY E. UNIVERSAL DOOR FRAME, FINISH VERY WHITE.

F. DOOR PULL: LADDER PULL, NON-LOCKING, FINISH: VERY WHITE

G. BARN DOOR TROLLEY, FINISH: VERY WHITE H. LEAF GLASS FINISH, TEMPERED, STANDARD GLAZING CLEAR

TEKNION CONTACT: MATT BACKMAN, EXTERUS, HYPERLINK "mailto:matt@myexterus.com"

DIVISION 13 - SPECIAL CONSTRUCTION (N/A) DIVISION 14 - CONVEYING (N/A - EXISTING ELEVATOR TO REMAIN, NO WORK)

DIVISION 21, 22, 23 - FIRE SUPPRESSION, PLUMBING & HVAC (SEE M SHEETS)

DIVISION 26, 27, 28 - ELECTRICAL, COMMUNICATIONS, SAFETY & SECURITY (SEE E SHEETS) **DIVISION 32 - EXTERIOR IMPROVEMENTS (SEE C-SHEETS)**

matt@myexterus.com CELL: 207-420-7788

PHASED FOR REBID DESCRIPTION PHASED FOR REBID CURRENT ISSUE STATUS:

PROJECT NORTH: SMRT Architects and Engine 75 Washington Ave., Suite 3 chitecture • Engineering • Planning

WABANAKI PUBLIC HEALTH

WABANAKI WELLNESS RECOVERY

HOME: FAMILY & FRIENDS CENTER PROJECT LOCATION

SPECIFICATIONS & NOTES

0" 1/4" 1/2" 1"

SHEET TITLE:

DRAWN BY

SMRT FILE:

SCALE: AS NOTED RSC PROJECT NO: APPROVED BY: **DESIGNED BY:** CHECKED BY:

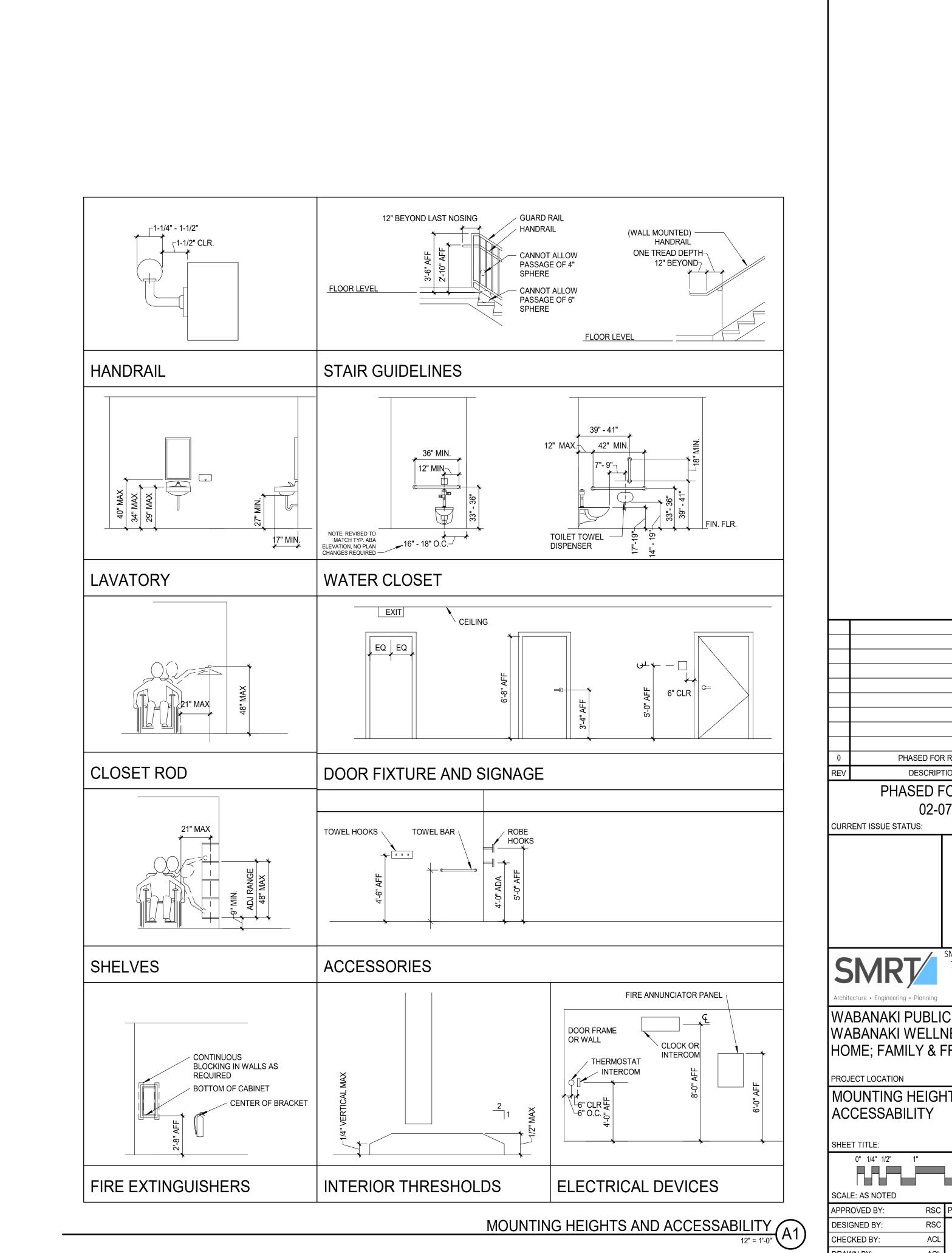
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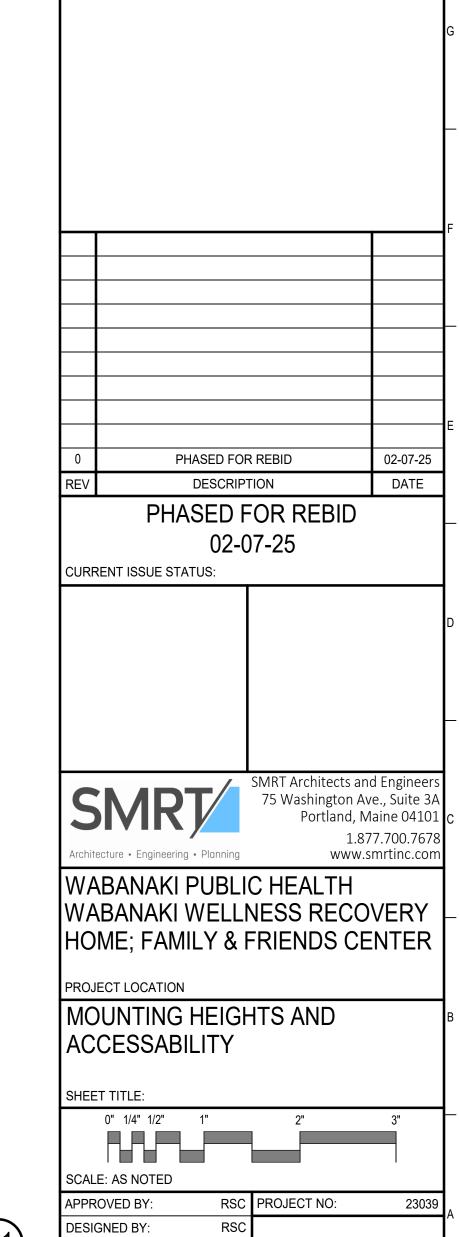
Portland, Maine 04101

www.smrtinc.co

1.877.700.767

AS INVISIBLE AS POSSIBLE. PROVIDE MATERIALS AND COMPLY WITH INSTALLATION REQUIREMENTS

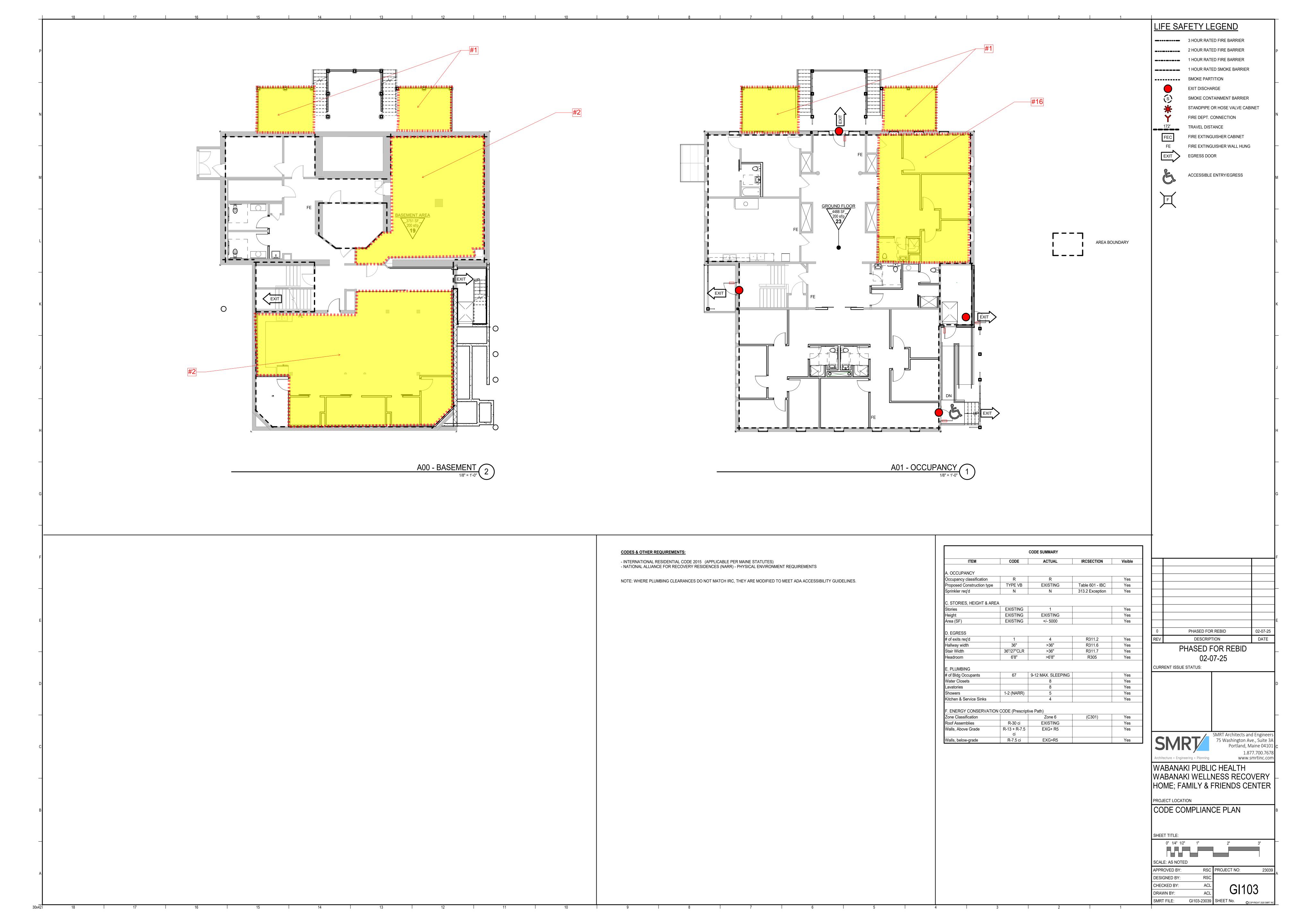


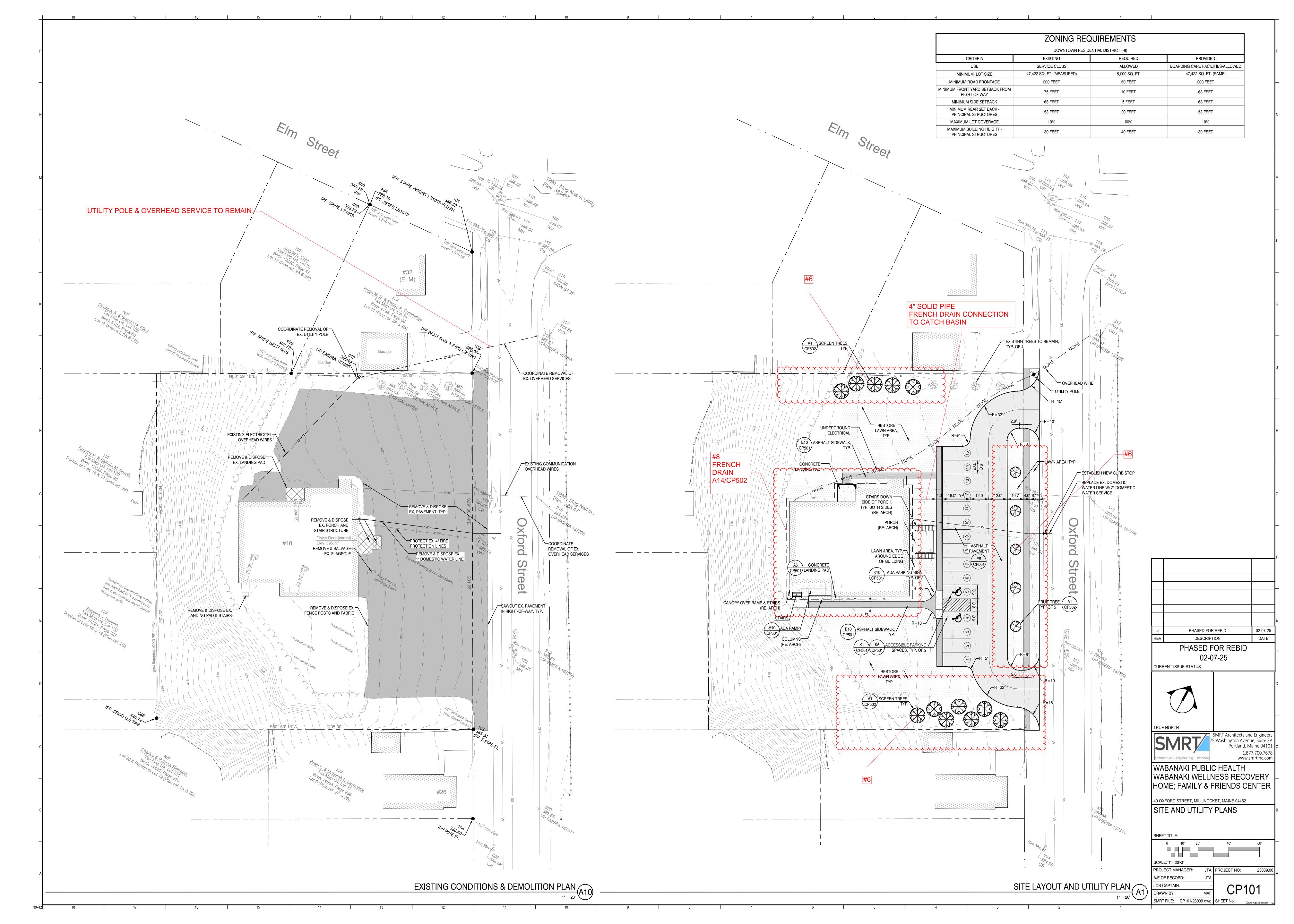


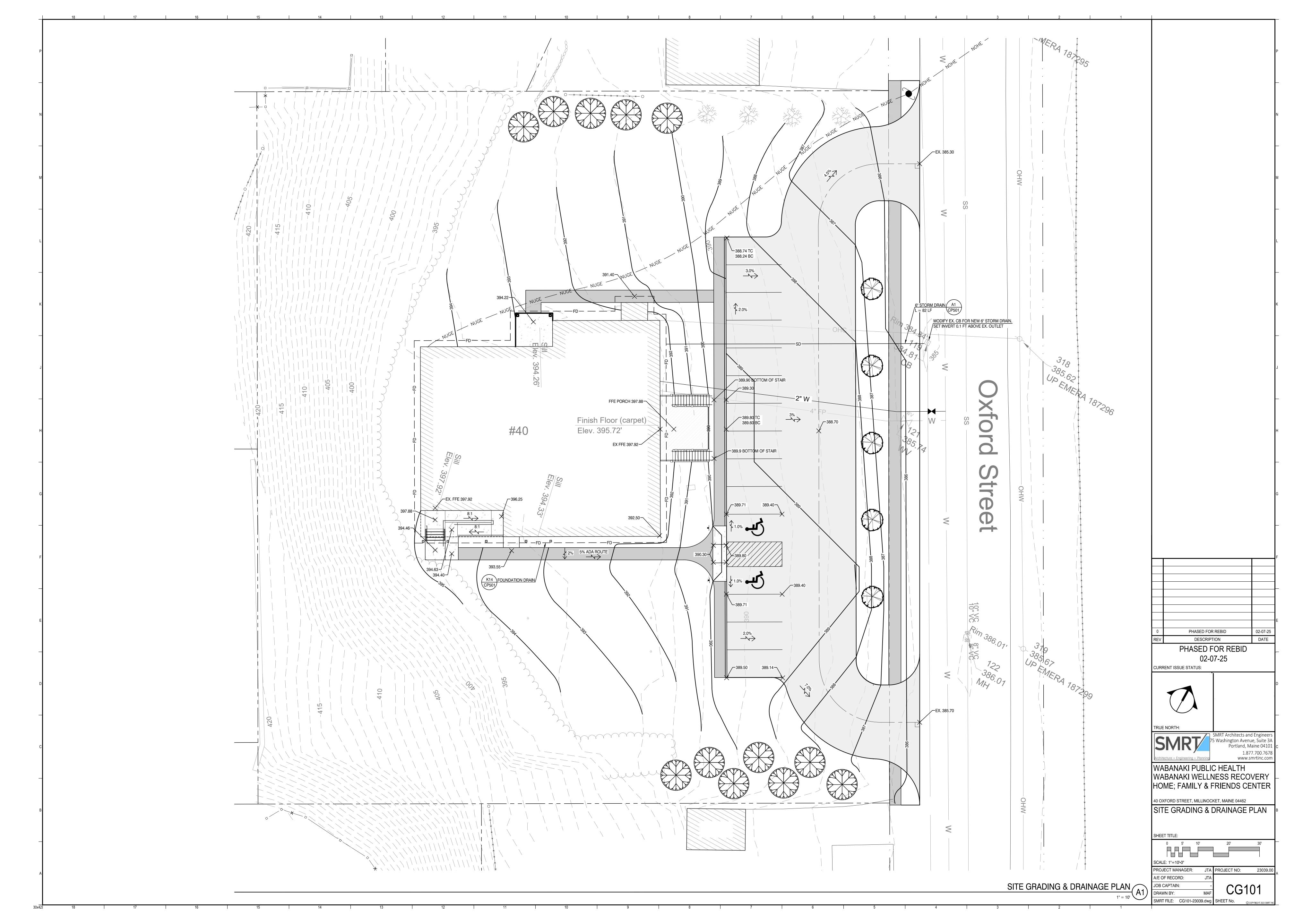
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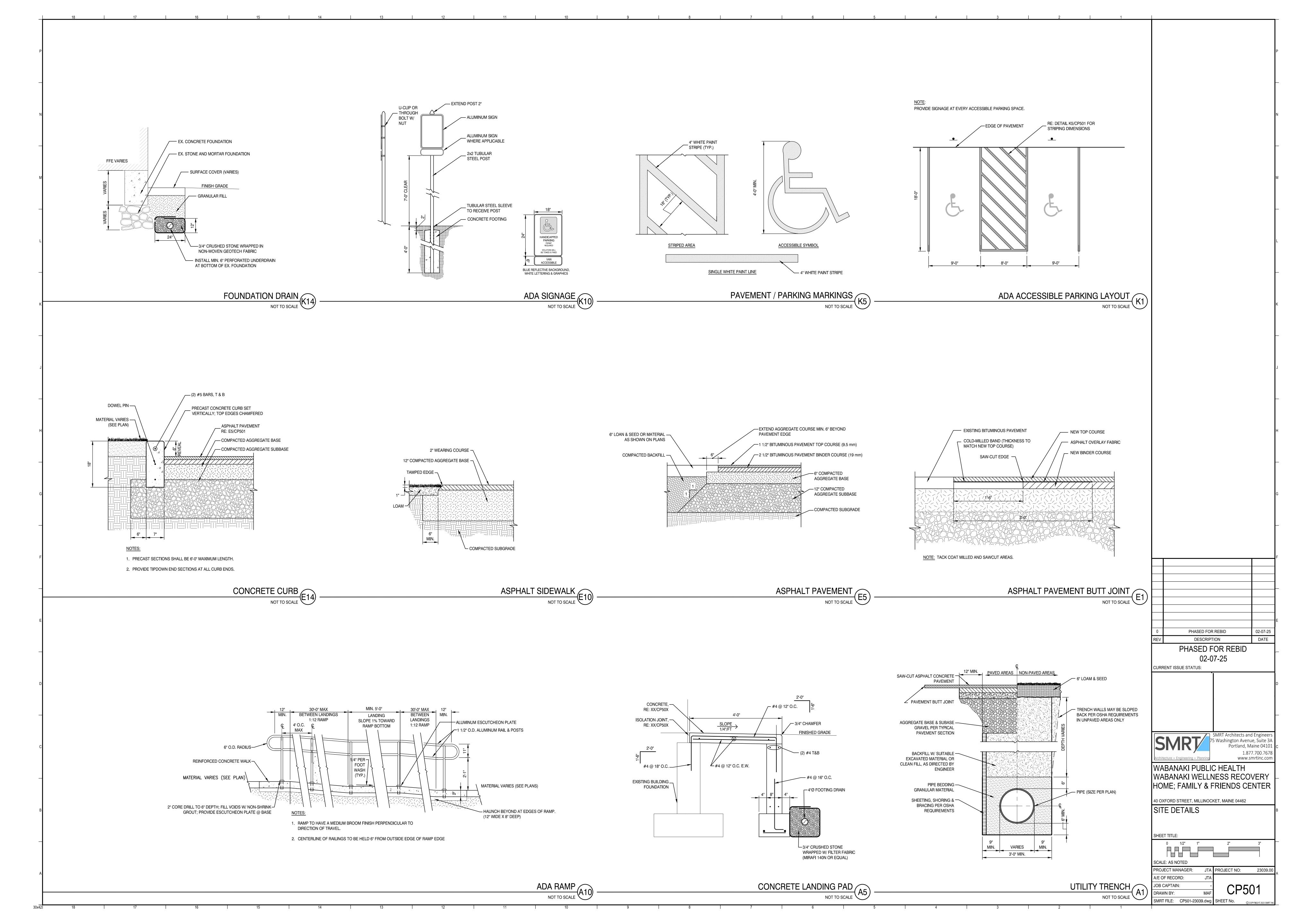
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GI003-23039 SHEET No.









TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES INCLUDE THE USE OF STABILIZED CONSTRUCTION ENTRANCE, SILTATION FENCE, EROSION CONTROL MIX BERM, STONE CHECK DAMS, HAY BALE BARRIERS, CATCH BASIN INLET BARRIERS, CATCH BASIN SEDIMENT COLLECTION BAGS, EROSION CONTROL BLANKET, AND TEMPORARY SEEDING AND MULCHING AS REQUIRED. PERMANENT DEVICES INCLUDE THE USE OF RIP RAP AT EXPOSED STORM DRAIN AND CULVERT INLETS AND OUTLETS, RIP RAPPED SLOPES, AND PERMANENT VEGETATION.

GENERAL

- A. IT IS ANTICIPATED THAT CONSTRUCTION MAY BEGIN AS SOON AS POSSIBLE FOLLOWING RECEIPT OF NECESSARY PERMITS.
 - 1. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES PUBLISHED BY THE THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION. (2016, OR AS CURRENTLY REVISED), OR U.S ENVIRONMENTAL PROTECTION AGENCY PUBLICATION 832/R-92-005 (SEPTEMBER, 1992, OR AS CURRENTLY REVISED) STORM WATER MANAGEMENT FOR CONSTRUCTION, CHAPTER 3, WHICHEVER IS MORE STRINGENT.
 - 2. ANY ADDITIONAL EROSION AND SEDIMENTATION CONTROL DEEMED NECESSARY BY THE OWNER'S REPRESENTATIVE, DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) PERSONNEL AND/OR MUNICIPAL OFFICIALS SHALL BE INSTALLED BY THE CONTRACTOR.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR ALL FINES RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES, WATER BODIES, OR WETLANDS AS A RESULT OF THIS PROJECT.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR/ REPLACEMENT/ MAINTENANCE OF ALL EROSION CONTROL MEASURES UNTIL ALL DISTURBED AREAS ARE STABILIZED TO THE SATISFACTION OF THE ABOVE PERSONNEL. DESCRIPTIONS OF ACCEPTABLE PERMANENT STABILIZATION FOR VARIOUS COVER TYPES FOLLOWS:
- A. FOR SEEDED AREAS, PERMANENT STABILIZATION MEANS A 90% COVER OF THE DISTURBED AREA WITH MATURE. HEALTHY PLANTS WITH NO EVIDENCE OF WASHING OR RILLING OF THE TOPSOIL.
- B. FOR SODDED AREAS, PERMANENT STABILIZATION MEANS THE COMPLETE BINDING OF THE SOD ROOTS INTO THE UNDERLYING SOIL WITH NO SLUMPING OF THE SOD OR
- C. FOR MULCHED AREAS, PERMANENT MULCHING MEANS TOTAL COVERAGE OF THE EXPOSED AREA WITH AN APPROVED MULCH MATERIAL. EROSION CONTROL MIX MAY BE USED AS MULCH FOR PERMANENT STABILIZATION ACCORDING TO THE APPROVED APPLICATION RATES AND LIMITATIONS.
- D. FOR AREAS STABILIZED WITH RIP RAP, PERMANENT STABILIZATION MEANS THAT SLOPES STABILIZED WITH RIP RAP HAVE AN APPROPRIATE BACKING OF A WELL-GRADED GRAVEL OR APPROVED GEOTEXTILE TO PREVENT SOIL MOVEMENT FROM BEHIND THE RIP RAP. STONE MUST BE SIZED APPROPRIATELY.
- E. PAVED AREAS: FOR PAVED AREAS, PERMANENT STABILIZATION MEANS THE PLACEMENT OF THE COMPACTED GRAVEL SUBBASE IS COMPLETED.
- F. FOR OPEN CHANNELS, PERMANENT STABILIZATION MEANS THE CHANNEL IS STABILIZED WITH MATURE VEGETATION AT LEAST THREE INCHES IN HEIGHT, WITH WELL-GRADED RIP RAP, OR WITH ANOTHER NON-EROSIVE LINING CAPABLE OF WITHSTANDING THE ANTICIPATED FLOW VELOCITIES AND FLOW DEPTHS WITHOUT RELIANCE ON CHECK DAMS TO SLOW FLOW. THERE MUST BE NO EVIDENCE OF SLUMPING OF THE LINING, UNDERCUTTING OF THE BANKS. OR DOWN CUTTING OF THE CHANNEL.

B. EROSION AND SEDIMENTATION CONTROL MEASURES

- 1. PRIOR TO THE BEGINNING OF CONSTRUCTION, THE STABILIZED CONSTRUCTION ENTRANCE AND TEMPORARY SILT FENCE SHALL BE INSTALLED AS SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. IT IS THE INTENT THAT SILT FENCE OR EROSION CONTROL MIX BERM BE INSTALLED DOWN GRADIENT OF ALL DISTURBED AREAS OF THE SITE. SILT FENCE SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS WILL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS SHALL BE PERIODICALLY REMOVED FROM THE UPSTREAM SIDE OF THE SILT BARRIERS. THIS SEDIMENT WILL BE SPREAD AND STABILIZED IN AREAS OF THE SITE NOT SUBJECT TO EROSION. SILT FENCE OR EROSION CONTROL MIX BERM SHALL BE REPLACED AS NECESSARY TO PROVIDE PROPER FILTERING ACTION. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM. THEY WILL BE REPLACED WITH A TEMPORARY CRUSHED STONE CHECK DAM.
- 2. ALL CATCH BASINS, NEW OR EXISTING, THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS MUST BE PROTECTED DURING CONSTRUCTION.
- 3. REMOVAL OF SOD, TREES, BUSHES AND OTHER VEGETATION AND SOIL DISTURBANCE WILL BE KEPT TO A MINIMUM WHILE ALLOWING PROPER SITE DEVELOPMENT.
- 4. GRUBBINGS AND ANY UNUSABLE TOPSOIL SHALL BE STRIPPED AND REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN AN APPROVED MANNER.

- 5. ANY SUITABLE TOPSOIL WILL BE STRIPPED AND STOCKPILED FOR REUSE IN FINAL GRADING. TOPSOIL WILL BE STOCKPILED IN A MANNER SUCH THAT NATURAL DRAINAGE IS NOT OBSTRUCTED AND NO OFF-SITE SEDIMENT DAMAGE WILL RESULT. SEDIMENT BARRIERS SHALL BE INSTALLED DOWN-GRADIENT OF ALL SOIL STOCKPILES AND STORMWATER SHALL BE PREVENTED FROM RUNNING ONTO ALL STOCKPILES. IF A STOCKPILE IS NECESSARY, THE SIDE SLOPES OF THE TOPSOIL STOCKPILE WILL NOT EXCEED 2:1. TOPSOIL STOCKPILES WILL BE TEMPORARILY SEEDED WITH AROOSTOOK RYE, ANNUAL OR PERENNIAL RYE GRASS WITHIN 7 DAYS OF FORMATION, OR TEMPORARILY MULCHED IF SEEDING CANNOT BE DONE WITHIN THE RECOMMENDED SEEDING DATES.
- 6. TEMPORARY DIVERSION BERMS AND DRAINAGE SWALES SHALL BE CONSTRUCTED AS NECESSARY.
- 7. TEMPORARY STABILIZATION SHALL BE CONDUCTED WITHIN 7 DAYS OF INITIAL DISTURBANCE OF SOILS, PRIOR TO ANY RAIN EVENT, AND PRIOR TO ANY WORK SHUT DOWN LASTING MORE THAN ONE DAY. TEMPORARY STABILIZATION INCLUDES SEED, MULCH, OR OTHER NON-ERODABLE COVER.
- 8. TEMPORARY SEEDING SPECIFICATIONS: WHERE SEEDBED HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME, AND SEED. APPLY LIMESTONE AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 SQUARE FEET) AND 10-10-10 (N-P2O5-K2O) FERTILIZER AT A RATE OF 600 LBS PER ACRE (13.8 LB. PER 1,000 SQUARE FEET). UNIFORMLY APPLY SEED AT THE RECOMMENDED SEEDING RATES AND DATES, APPLY HAY OR STRAW MULCH AT A RATE OF 2 TONS PER ACRES, AND ANCHOR AS NECESSARY.
 - RECOMMENDED TEMPORARY SEEDING DATES AND APPLICATION RATES ARE AS FOLLOWS: AROOSTOOK RYE:

RECOMMENDED SEEDING DATES: 8/15 -10/1 APPLICATION RATE: 112 LBS/ACRE

ANNUAL RYE GRASS:

RECOMMENDED SEEDING DATES: 4/1 - 7/1 APPLICATION RATE: 40 LBS/ACRE

PERENNIAL RYE GRASS: RECOMMENDED SEEDING DATES: 8/15 - 9/15 APPLICATION RATE: 40 LBS/ACRE

- 9. PERMANENT SEEDING SPECIFICATION. IF A LANDSCAPE PLAN HAS BEEN PREPARED FOR THE PROJECT, SOIL PREPARATION AND SEED SPECIFICATIONS OF THAT PLAN SHALL SUPERSEDE THESE GENERAL PERMANENT SEEDING REQUIREMENTS. IT IS RECOMMENDED THAT PERMANENT SEEDING BE COMPLETED BETWEEN APRIL 1 AND JUNE 15 OF EACH YEAR. LATE SEASON SEEDING MAY BE DONE BETWEEN AUGUST 15 AND SEPTEMBER 15. AREAS NOT SEEDED OR WHICH DO NOT OBTAIN A SATISFACTORY GROWTH BY OCTOBER 1 SHALL BE SEEDED WITH AROOSTOOK RYE MULCHED AT RATES PREVIOUSLY SPECIFIED. SEE WINTER CONDITIONS NOTES FOR SEEDING STABILIZATION AFTER NOVEMBER 1
 - A. APPLY TOPSOIL TO A MINIMUM DEPTH OF 4 INCHES. MIX TOPSOIL WITH THE SUBSOIL TO A MINIMUM DEPTH OF 6 INCHES.
 - B. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TESTS. IN LIEU OF SOIL TESTS, APPLY GROUND LIMESTONE AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1.000 SQUARE FEET) AND GRANULAR, COMMERCIAL-GRADE, 10-10-10 (N-P2O5-K2O) FERTILIZER AT A RATE OF 800 LBS PER ACRE (18.4 LBS PER 1,000 SQUARE FEET).
 - C. UNIFORMLY APPLY SEED MIXTURE AT THE RECOMMENDED SEEDING RATES AND DATES. APPLY HAY OR STRAW MULCH AT A RATE OF 2 TONS PER ACRES, AND ANCHOR AS
 - D. THE SEED MIXTURE FOR LAWN AND FILTRATION BASIN AREAS SHALL CONSIST OF SEEDS PROPORTIONED BY WEIGHT AS FOLLOWS:

30% CREEPING RED FESCUE 50% KENTUCKY BLUEGRASS

BASIN UNTIL THE GRASS IS ESTABLISHED.

20% ITALIAN/PERENNIAL RYE GRASS

NOTE: SEED MIXTURE SHALL CONSIST OF AT LEAST TWO VARIETIES OF EACH TYPE OF GRASS. WHEN USED IN A FILTER BASIN, STORMWATER SHALL NOT BE DIRECTED TO THE

- 10. MULCH ALL AREAS SEEDED SO THAT SOIL IS NOT VISIBLE THROUGH THE MULCH REGARDLESS OF THE APPLICATION RATE.
- 11. DITCH LININGS, STONE CHECK DAMS, AND RIP RAP INLET AND OUTLET PROTECTION SHALL BE INSTALLED WITHIN 48 HOURS OF COMPLETING THE GRADING OF THAT SECTION OF DITCH OR INSTALLATION OF CULVERT.
- 12. RIP RAP REQUIRED AT CULVERTS AND STORM DRAIN INLETS AND OUTLETS SHALL CONSIST OF FIELD STONE OR ROUGH UNHEWN QUARRY STONE OF APPROXIMATELY RECTANGULAR SHAPE.
- 13. EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL PERMANENT SLOPES STEEPER THAN 15%, IN THE BASE OF DITCHES NOT OTHERWISE PROTECTED, AND ANY DISTURBED AREAS WITHIN 100 FEET OF A PROTECTED NATURAL RESOURCE (E.G. WETLANDS AND WATER BODIES). EROSION CONTROL BLANKET SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 14. TEMPORARY CONTROL MEASURES, SUCH AS SILT FENCE, SHALL BE REMOVED WITHIN 30 DAYS AFTER PERMANENT STABILIZATION IS ATTAINED.

C. WINTER CONDITIONS

- 1. "WINTER CONSTRUCTION" IS CONSTRUCTION ACTIVITY PERFORMED DURING THE PERIOD FROM NOVEMBER 1ST THROUGH APRIL 15TH. IF AREAS WITHIN THE CONSTRUCTION ACTIVITY ARE NOT STABILIZED WITH TEMPORARY OR PERMANENT MEASURES OUTLINED ABOVE BY NOVEMBER 15TH, THEN THE SITE MUST BE PROTECTED WITH ADDITIONAL STABILIZATION MEASURES THAT ARE SPECIFIC TO WINTER CONDITIONS. NO MORE THAN ONE ACRE OF THE SITE MAY BE WITHOUT STABILIZATION AT ONE TIME.
- 2. SILT FENCE: IN LIEU OF PROVIDING THE 4" X 4" TRENCH, FOR FROZEN GROUND, STONY SOIL, THE PRESENCE OF LARGE ROOTS, OR OTHER PROHIBITIVE CONDITIONS, THE BOTTOM 8" TO 12" OF THE FABRIC MAY BE LAID ON EXISTING GRADE AND BACK FILLED WITH STONE ANCHORING MATERIAL, AS SHOWN ON THE DRAWINGS.
- 3. AREAS WITHIN 100 FEET OF A PROTECTED NATURAL RESOURCE MUST BE PROTECTED WITH A DOUBLE ROW OF SEDIMENT BARRIERS.
- 4. HAY MULCH SHALL BE APPLIED AT TWICE THE STANDARD TEMPORARY STABILIZATION RATE. AT THE END OF EACH CONSTRUCTION DAY, AREAS THAT HAVE BEEN BROUGHT TO FINAL GRADE MUST BE STABILIZED. MULCH MAY NOT BE SPREAD ON TOP OF SNOW.
- AFTER NOVEMBER 1ST OR THE FIRST KILLING FROST FOR THE REGION AND BEFORE SNOW FALL, ALL EXPOSED AND DISTURBED AREAS NOT TO UNDERGO FURTHER DISTURBANCE ARE TO HAVE DORMANT SEEDING. THE DORMANT SEEDING METHOD: PREPARE THE SEEDBED, LIME AND FERTILIZE, APPLY THE SELECTED PERMANENT SEED MIXTURE AT DOUBLE THE REGULAR SEEDING RATE, AND MULCH AND ANCHOR. DORMANT SEEDINGS NEED TO BE ANCHORED EXTREMELY WELL ON SLOPES, DITCH BASES AND AREAS OF CONCENTRATED FLOWS. DORMANT SEEDING REQUIRES INSPECTION AND RESEEDING AS NEEDED IN THE SPRING. ALL AREAS WHERE COVER IS INADEQUATE MUST BE IMMEDIATELY RESEEDED AND MULCHED AS SOON AS POSSIBLE.
- 6. ALL VEGETATED DITCH LINES THAT HAVE NOT BEEN STABILIZED BY NOVEMBER 1ST. OR WILL BE WORKED DURING THE WINTER CONSTRUCTION PERIOD, MUST BE STABILIZED WITH AN APPROPRIATE STONE LINING BACKED BY AN APPROPRIATE GRAVEL BED OR GEOTEXTILE UNLESS SPECIFICALLY RELEASED FROM THIS STANDARD BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- 7. MULCH NETTING MUST BE USED TO ANCHOR MULCH ON ALL SLOPES GREATER THAN 8% UNLESS EROSION CONTROL BLANKETS OR EROSION CONTROL MIX IS BEING USED ON THESE

D. HOUSEKEEPING

- SPILL PREVENTION. CONTROLS MUST BE USED TO PREVENT POLLUTANTS FROM CONSTRUCTION AND WASTE MATERIALS STORED ON-SITE, INCLUDING STORAGE PRACTICES TO MINIMIZE EXPOSURE OF THE MATERIALS TO STORM WATER, AND APPROPRIATE SPILL PREVENTION, CONTAINMENT, AND RESPONSE PLANNING AND IMPLEMENTATION.
- 2. GROUNDWATER PROTECTION. DURING CONSTRUCTION, LIQUID PETROLEUM PRODUCTS AND OTHER HAZARDOUS MATERIALS WITH THE POTENTIAL TO CONTAMINATE GROUNDWATER MAY NOT BE STORED OR HANDLED IN AREAS OF THE SITE DRAINING TO AN INFILTRATION AREA. AN "INFILTRATION AREA" IS ANY AREA OF THE SITE THAT BY DESIGN OR AS A RESULT OF SOILS, TOPOGRAPHY AND OTHER RELEVANT FACTORS, ACCUMULATES RUNOFF THAT INFILTRATES INTO THE SOIL. DIKES, BERMS, SUMPS, AND OTHER FORMS OF SECONDARY CONTAINMENT THAT PREVENT DISCHARGE TO GROUNDWATER MAY BE USED TO ISOLATE PORTIONS OF THE SITE FOR THE PURPOSES OF STORAGE AND HANDLING OF THESE
- 3. FUGITIVE SEDIMENT AND DUST. ACTIONS MUST BE TAKEN TO ENSURE THAT ACTIVITIES DO NOT RESULT IN NOTICEABLE EROSION OF SOILS OR FUGITIVE DUST EMISSIONS DURING OR AFTER CONSTRUCTION. OIL MAY NOT BE USED FOR DUST CONTROL.
- 4. DEBRIS AND OTHER MATERIAL. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WATER, MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.
- 5. COMPLY WITH THE REQUIREMENTS OF SECTION 01570, CONSTRUCTION WASTE MANAGEMENT, FOR REMOVAL AND DISPOSAL OF CONSTRUCTION DEBRIS AND WASTE.
- 6. TRENCH OR FOUNDATION DE-WATERING. THE COLLECTED WATER REMOVED FROM THE PONDED AREA, EITHER THROUGH GRAVITY OR PUMPING, MUST BE SPREAD THROUGH NATURAL WOODED BUFFERS OR REMOVED AREAS THAT ARE SPECIFICALLY DESIGNATED TO COLLECT THE MAXIMUM AMOUNT OF SEDIMENT POSSIBLE. LIKE A COFFER DAM SEDIMENTATION BASIN. AVOID ALLOWING THE WATER TO FLOW OVER DISTURBED AREAS OF THE SITE.

- STREET SWEEPING.
- 8. PREVENT CONTAMINATION BY NON-STORMWATER DISCHARGES. AUTHORIZED NON-STORMWATER DISCHARGES ARE:
- A. DISCHARGES FROM FIRE-FIGHTING ACTIVITY
- B. FIRE HYDRANT FLUSHINGS,
- C. DUST CONTROL RUNOFF, D. ROUTINE EXTERNAL BUILDING WASHDOWN, NOT INCLUDING SURFACE PAINT REMOVAL
- THAT DOES NOT INVLOVE DETERGENTS, E. PAVEMENT WASHWATER (WHERE SPILLS/LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURED, UNLESS ALL SPILLED MATERIAL HAS BEEN REMOVED) IF
- DETERGENTS ARE NOT USED. UNCONTAMINATED AIR CONDITIONING OR COMPRESSOR CONDENSATE
- G. UNCONTAMINATED GROUNDWATER OR SPRING WATER.
- H. FOUNDATION OF FOOTING DRAIN WATER WHERE FLOWS ARE NOT CONTAMINATED. UNCONTAMINATED EXCAVATION DEWATERING,
- J. POTABLE WATER SOURCES INCLUDING WATERLINE FLUSHINGS.
- K. LANDSCAPE IRRIGATION.
- NO DISCHARGE FROM THE FOLLOWING IS ALLOWED. UNAUTHORIZED NON-STORMWATER DISCHARGES ARE:
- A. WASTEWATER FROM WASHOUT OR CLEANOUT OF CONCRETE, STUCCO, PAINT, FORM
- RELEASE OILS, CURING COMPOUNDS, OR OTHER CONSTRUCTION MATERIALS, B. FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND
- C. SOAPS, SOLVENTS, OR DETERGENTS USED IN VEHICLE AND EQUIPMENT WASHING, TOXIC OR HAZARDOUS SUBSTANCES FROM A SPILL OR OTHER RELEASE.

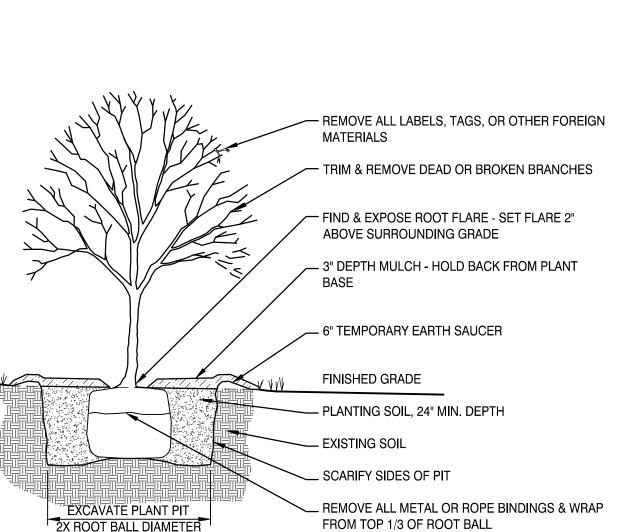
E. INSPECTION AND MAINTENANCE

- 1. INSPECT DISTURBED AND IMPERVIOUS AREAS, EROSION AND STORM WATER CONTROL MEASURES, AREAS USED FOR STORAGE THAT ARE EXPOSED TO PRECIPITATION, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE A WEEK AS WELL AS BEFORE AND WITHIN 24 HOURS AFTER A STORM EVENT (RAINFALL), AND PRIOR TO COMPLETION OF PERMANENT STABILIZATION. A PERSON WITH KNOWLEDGE OF EROSION AND STORM WATER CONTROLS, INCLUDING THE STANDARDS IN ALL DEP AND MUNICIPAL COMPANION DOCUMENTS, MUST CONDUCT THE INSPECTION. THIS PERSON MUST BE IDENTIFIED IN THE INSPECTION LOG. IF BEST MANAGEMENT PRACTICES (BMPS) NEED TO BE MODIFIED OF IF ADDITIONAL BMPS ARE NECESSARY, IMPLEMENTATION MUST BE COMPLETED WITHIN 7 CALENDAR DAYS AND PRIOR TO ANY STORM EVENT (RAINFALL). ALL MEASURES MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION UNTIL AREAS ARE PERMANENTLY STABILIZED.
- 2. AN INSPECTION AND MAINTENANCE LOG MUST BE KEPT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME AND QUALIFICATIONS OF THE PERSON PERFORMING THE INSPECTION, DATE, AND MAJOR OBSERVATIONS RELATING TO OPERATION OF EROSION AND SEDIMENTATION CONTROLS AND POLLUTION PREVENTION MEASURES. MAJOR OBSERVATIONS MUST INCLUDE: BMPS THAT NEED TO BE MAINTAINED, LOCATION(S) OF BMPS THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION, AND LOCATION(S) WHERE ADDITIONAL BMPS ARE NEEDED THAT DID NOT EXIST AT THE TIME OF THE INSPECTION. FOLLOW-UP TO CORRECT DEFICIENCIES OR ENHANCE CONTROLS MUST ALSO BE INDICATED IN THE LOG AND DATED, INCLUDING WHAT ACTION WAS TAKEN AND WHEN.
- 3. INSPECTIONS DURING CONSTRUCTION SHOULD BE PERFORMED AT LEAST ONCE PER WEEK AND AFTER EVERY RAINFALL EVENT.

F. CONSTRUCTION SCHEDULE & SEQUENCE

- 1. INSTALL TEMPORARY EROSION CONTROL MEASURES IN THE VICINITY OF THE CONSTRUCTION AREA, INCLUDING A STABILIZED CONSTRUCTION ENTRANCE AT LOCATIONS DEEMED NECESSARY BY THE OWNER'S REPRESENTATIVE, SEDIMENT BARRIERS, AND SILT FENCE. NOTE: TEMPORARY EROSION CONTROL MEASURES FOR WINTER CONDITIONS SHALL BE IMPLEMENTED.
- 2. GRUB THE SITE, STOCKPILE REUSABLE MATERIAL, AND DISPOSE OF UNUSABLE AND/OR SURPLUS MATERIAL. INSTALL UNDERGROUND UTILITIES AND BUILD DRIVE AND PARKING TO
- 3. EXCAVATE FOUNDATIONS.
- 4. CONSTRUCT BUILDING
- 5. CONSTRUCT OTHER SITE IMPROVEMENTS, INCLUDING PAVEMENT.
- 6. PLACE LOAM, SEED, AND MULCH,
- 7. FOLLOWING PERMANENT STABILIZATION OF THE SITE, REMOVE TEMPORARY EROSION CONTROL MEASURES.

EROSION AND SEDIMENT CONTROL NOTES E1 NOT TO SCALE

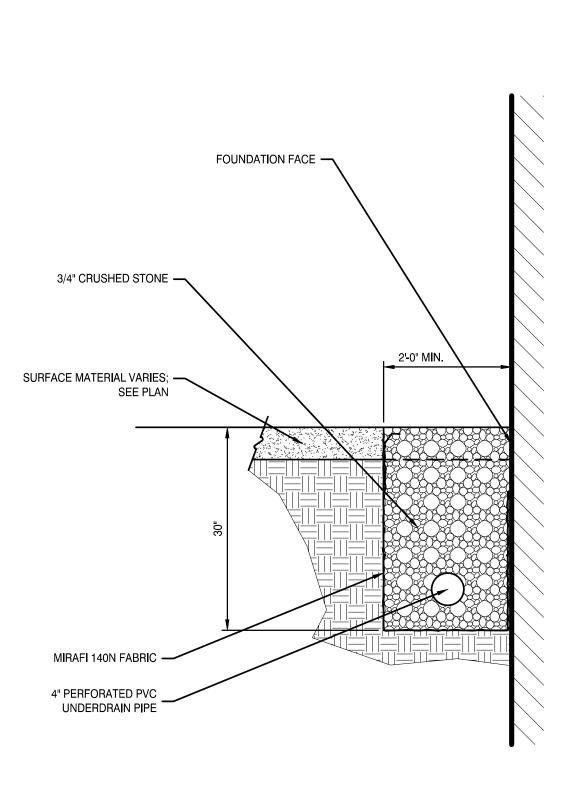


1. TREE TO BE SET PLUMB.

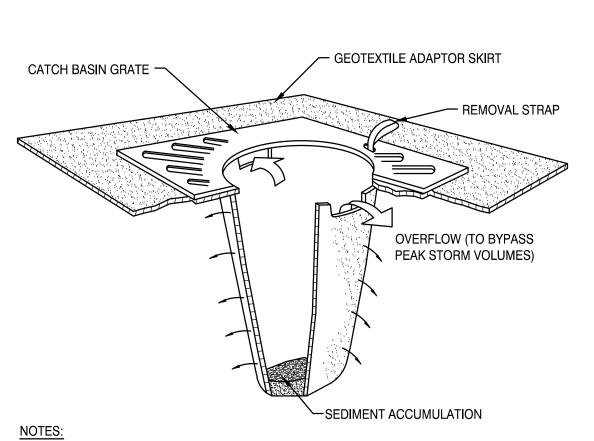
NOTES:

- 2. SECURE TREE AS MAY BE REQUIRED ACCORDING TO TREE SIZE, LOCATION, & WIND/WEATHER CONDITIONS.
- 3. IF USING ROOTBALL STABILIZATION, FOLLOW MANUFACTURER'S RECOMMENDATIONS.

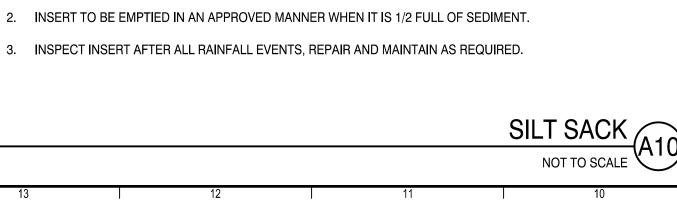
PHASED FOR REBID DESCRIPTION PHASED FOR REBID 02-07-25 CURRENT ISSUE STATUS: SMRT Architects and Engineer 5 Washington Avenue, Suite 3, Portland, Maine 04101 1.877.700.767 www.smrtinc.cor WABANAKI PUBLIC HEALTH WABANAKI WELLNESS RECOVERY HOME: FAMILY & FRIENDS CENTER 40 OXFORD STREET, MILLINOCKET, MAINE 04462 SITE DETAILS SHEET TITLE:

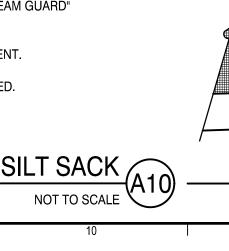


FRENCH DRAIN - A1/

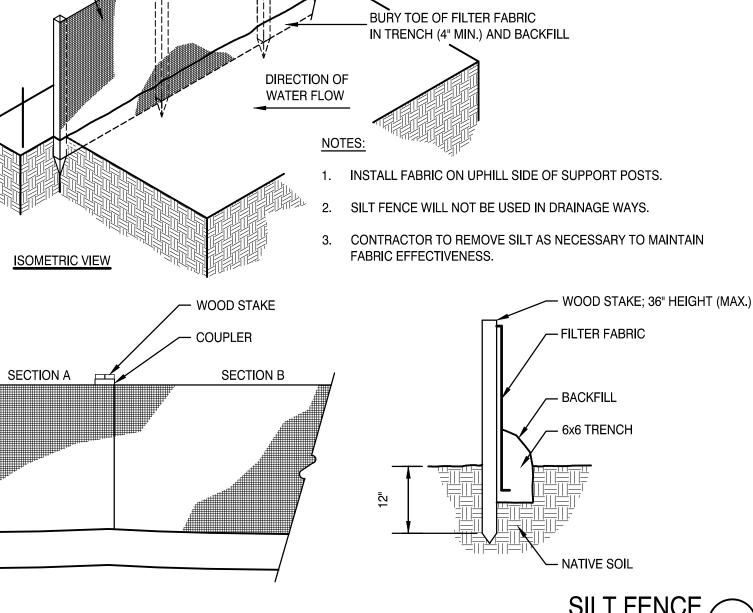


- 1. CATCH BASIN PROTECTION TO BE "SILTSACK" (BY ACF ENVIRONMENTAL) OR "STREAM GUARD" (BY FOSS ENVIRONMENTAL SERVICES).
- 2. INSERT TO BE EMPTIED IN AN APPROVED MANNER WHEN IT IS 1/2 FULL OF SEDIMENT.





SILT FENCE FABRIC -



SECTION A

SILT FENCE NOT TO SCALE

SECTION B

TOP VIEW

TREE PLANTING

PROJECT MANAGER: JTA PROJECT NO: A/E OF RECORD: SMRT FILE: CP502-23039.dwg SHEET No.

GENERAL NOTES:

- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL. MECHANICAL. ELECTRICAL. SITE AND SHOP DRAWINGS. GENERAL CONTRACTOR SHALL COORDINATE LOCATIONS AND DIMENSIONS OF OPENINGS, CHASES, INSERTS, REGLETS, SLEEVES, DEPRESSIONS, ETC.
- ALL DIMENSIONS AND COORDINATES SHALL BE FIELD VERIFIED. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PORTION OF THE WORK.
- THE STRUCTURE IS DESIGNED TO BE STABLE AND SELF SUPPORTING AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, OR TIEDOWNS, ETC. SUPPORT OF EQUIPMENT USED IN THE CONSTRUCTION PROCESS AND STOCKPILING OF MATERIAL ON THE STRUCTURE DURING CONSTRUCTION IS TO BE EVALUATED BY THE CONTRACTOR. MATERIALS USED TO AID CONSTRUCTION PHASE ACTIVITIES THAT ARE NOT NOTED AS PART OF THE FINAL PROJECT ASSEMBLY SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- SECTIONS AND DETAILS SHOWN ON ANY STRUCTURAL DRAWINGS SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH ALL APPLICABLE FEDERAL, STATE AND MUNICIPAL
- WHERE DELEGATED DESIGN IS INDICATED, DESIGN SHALL INCLUDE ALL COMPONENTS REQUIRED FOR A COMPLETE SYSTEM
- REFERENCE ELEVATION 100'-0" ON STRUCTURAL DRAWINGS IS EQUAL TO 395.72' ON CIVIL DRAWINGS OR FINISH FLOOR

DESIGN NOTES

ELEVATION.

- THIS BUILDING IS DESIGNED TO COMPLY WITH THE MAINE UNIFORM BUILDING CODE WHICH REFERENCES THE 2015 EDITION OF THE INTERNATIONAL BUILDING CODE AND ASCE7-10 "MINIMUM DESIGN LOADS FOR BUILDINGS & OTHER STRUCTURES.
- FLOOR LIVE LOADS ARE AS FOLLOWS: A. CORRIDORS = 100 PSF ALL OTHER ROOMS = 100 PSF

UNLESS NOTED OTHERWISE.

- DEAD LOADS: DESIGN INCLUDES THE SELF WEIGHT OF STRUCTURAL COMPONENTS PLUS 5 PSF ALLOWANCE FOR MISCELLANEOUS DUCTWORK, SPRINKLER PIPING AND OTHER HUNG ITEMS.
- SNOW LOAD:
- GROUND SNOW LOAD Pg = 100 PSF FLAT ROOF SNOW LOAD Pf = 77 PSF
- SNOW LOAD IMPORTANCE FACTOR I_S =1.0 SNOW EXPOSURE FACTOR Ce = 1.0
- SNOW THERMAL FACTOR Ct = 1.1 SNOW DRIFTING IN ACCORDANCE WITH ASCE7
- WIND LOAD:
- BASIC WIND SPEED =115 MPH RISK CATEGORY II WIND EXPOSURE = EXPOSURE B
- WIND INTERNAL PRESSURE COEFFICIENT GCpi = ±0.18
- DESIGN WIND LOADS: COMPONENTS AND CLADDING IN WALL CONSTRUCTION (ASSUMING EFFECTIVE WIND AREA > 20 SQUARE FEET)
- a. WITHIN 7 FEET FROM CORNERS = ±30 PSF b. AT ALL OTHER WALL SURFACES= ±24 PSF
- COMPONENTS AND CLADDING IN ROOF CONSTRUCTION (ASSUMING EFFECTIVE WIND AREA >20 SQUARE FEET) a. WITHIN X FEET FROM CORNERS = -53 PSF
- b. ALL ROOF SURFACES = -35 PSF MAIN WIND FORCE RESISTING SYSTEM Pmax = ±22 PSF
- EARTHQUAKE LOAD: SEISMIC IMPORTANCE FACTOR, $I_E = 1.0$
- MAPPED SPECTRAL RESPONSE ACCELERATION, S_S = 0.20 g MAPPED SPECTRAL RESPONSE ACCELERATION, $S_1 = 0.08 g$

RESPONSE MODIFICATION FACTOR, R = 6 1/2

- SITE CLASS = CLASS D (ASSUMED) SPECTRAL RESPONSE COEFFICIENT, Sps = 0.213
- SPECTRAL RESPONSE COEFFICIENT, $S_{D1} = 0.128$ SEISMIC DESIGN CATEGORY = CATEGORY B
- BASIC SEISMIC FORCE-RESISTING SYSTEM: LIGHT FRAME WOOD WALLS SHEATHE WITH WOOD STRUCTRUAL PANELS RATED FOR SHEAR RESISTANCE
- SEISMIC RESPONSE COEFFICIENT, Cs = 0, 33 ANALYSIS PROCEDURE = EQUIVALENT LATERAL FORCE PROCEDURE

EARTHWORK NOTES

- ALL FOUNDATIONS AND SLABS SHALL BEAR ON UNDISTURBED NATIVE SOIL OR COMPACTED STRUCTURAL FILL
- WHERE THE SURFACE OF ACCEPTABLE BEARING OF EXISTING SOILS IS BELOW THE SPECIFIED BOTTOM OF CONCRETE ELEVATION, FILL TO THE SPECIFIED ELEVATION WITH COMPACTED STRUCTURAL FILL.
- WHERE FILL MATERIALS ARE PLACED BENEATH FOUNDATIONS, PLACE COMPACTED STRUCTURAL FILL WITHIN A ZONE OF INFLUENCE BOUNDED BY A ONE-TO-ONE SLOPE ORIGINATING AT 1'-0" FROM FACE OF FOUNDATION. EXTENDED TO THE ACCEPTABLE BEARING SUBSTRATE.
- BENEATH INTERIOR FLOOR SLABS ON GRADE PROVIDE THE FOLLOWING MATERIALS:
- VAPOR RETARDER: SEE SPECIFICATIONS 12" MIN. OF STRUCTURAL FILL, COMPACTED TO 95% OF ITS MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557. IF A RADON PIT IS SPECIFIED, PLACE 8" MIN. OF STRUCTURAL FILL WITH A 4" MIN LAYER OF CRUSHED STONE ALL COMPACTED TO 95% OF ITS MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557
- BACKFILL FOUNDATIONS WITH COMPACTED STRUCTURAL FILL.
- 6. SPECIFIED FILL MATERIAL SHALL COMPLY WITH THE FOLLOWING GRADATIONS:
- COMPACT FILL MATERIALS IN ACCORDANCE WITH ASTM D-1554 AND THE GEOTECHNICAL REPORT GUIDELINES FOR THE FOLLOWING PERCENTAGES OF THE MAXIMUM DRY DENSITY:
- BUILDING INTERIOR: = 95% BUILDING EXTERIOR BENEATH EXTERIOR SLABS AND WALLS WITHIN 24" OF PAVEMENT OR CONCRETE SUB-GRADE: = 95% BENEATH FOOTINGS WITH THE ZONE OF INFLUENCE DESCRIBED IN NOTE 3: = 95%
- BUILDING EXTERIOR AT ALL OTHER LOCATIONS = 90%

FOUNDATION NOTES:

- FOUNDATION DESIGN IS BASED ON THE PRESUMPTIVE LOAD BEARING VALUES TABLE 1806.2 IN IBC 2015 FOR CLAY, SANDY CLAY,
- FOUNDATIONS ARE DESIGNED TO BEAR ON SOILS WITH AN ALLOWABLE BEARING PRESSURE OF 1500 PSF.
- REMOVE ALL TOPSOIL, ORGANICS, PREVIOUS FILL MATERIAL, DEBRIS AND OTHER UNSUITABLE MATERIAL FROM WITHIN THE BUILDING FOOTPRINT AND 5 FEET BEYOND TO A MINIMUM DEPTH OF 12". EXCAVATE TO GREATER DEPTH WHERE REQUIRED TO REMOVE UNSUITABLE MATERIAL. EXTENSIVE REMOVALS ARE ANTICIPATED WITHIN THE PROJECT FOOTPRINT.
- WHERE OVEREXCAVATION IS REQUIRED BENEATH FOOTINGS, EXTEND THE LIMITS AT LEAST 2'-0" BEYOND THE VERTICAL SURFACES AND PROJECTING AT A 1.5H:1V SLOPE AWAY FROM THE VERTICAL FOOTING SURFACES. BACKFILL TO THE SPECIFIED BOTTOM OF FOOTING ELEVATION WITH STRUCTURAL FILL, COMPACTED TO 95% OF THE MINIMUM DRY DENSITY PER ASTM D1557. MODIFIED
- FOOTING SUBGRADES SHALL BE INSPECTED BY THE GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION OF FORMWORK.
- ALL FILL MATERIAL SHALL BE NON-FROST SUSCEPTIBLE.
- DEWATER EXCAVATIONS TO AT LEAST 1' BELOW BOTTOM OF FOOTING ELEVATION.
- THE CONTRACTOR SHALL LIMIT THE EXPOSURE OF NATIVE SOILS TO WATER. FREEZING TEMPERATURES. VEHICLE. AND EXCESSIVE FOOT TRAFFIC AT FOOTING BEARINGS AND BENEATH FLOOR SLABS. PROVIDE TEMPORARY PROTECTION AS REQUIRED TO RETAIN THE INTEGRITY OF NATIVE SOILS.
- PROVIDE A MINIMUM OF 6'-0" OF FROST PROTECTION BETWEEN THE BOTTOM OF EXTERIOR FOOTINGS AND ADJACENT FINISH GRADE WHEN BEARING ON GRANULAR MATERIAL OR PROVIDE A MINIMUM OF 2'-0" OF FROST PROTECTION WHEN BEARING DIRECTLY ON BEDROCK.
- BACKFILL WITHIN 2'-0" OF FOUNDATION WALLS SHALL BE PLACED IN HORIZONTAL LIFTS WITH A MAXIMUM LOOSE THICKNESS OF 8 INCHES. THE MINIMUM COMPACTION PER ASTM D1557, MODIFIED PROCTOR SHALL BE 95% OF THE MAXIMUM DRY DENSITY. WHERE COMPACTION IS PROVIDED BY THE USE OF HAND GUIDED EQUIPMENT, REDUCE THE MAXIMUM PARTICLE SIZE TO 3 INCHES AND LIMIT LIFT THICKNESS TO 6 INCHES.
- ALL FILL MATERIAL PLACED BELOW SLAB SUBGRADE WITHIN THE FOOTPRINT OF THE BUILDING SHALL BE STRUCTURAL FILL COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557, MODIFIED PROCTOR. PROVIDE A MINIMUM THICKNESS OF 12" OF COMPACTED STRUCTURAL FILL DIRECTLY BENEATH THE FLOOR SLAB.
- INSTALL A **VAPOR RETARDER** BENEATH ALL INTERIOR SLABS-ON-GRADE. SEAL THE VAPOR RETARDER AROUND ALL PENETRATIONS, AT LAPPED SPLICES, AND TERMINATIONS AGAINST FOUNDATION WALLS IN ACCORDANCE WITH THE MANUFACTURER'S
- WHERE EXCAVATIONS FOR NEW FOUNDATIONS ARE ADJACENT TO EXISTING FOUNDATIONS. CONTRACTOR SHALL PROTECT EXISTING SOILS AND FOUNDATIONS AS REQUIRED TO MAINTAIN STABILITY. WHERE SHEET PILING OR OTHER DRIVEN DEVICES ARE USED, CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE CAUSED TO THE EXISTING FACILITY.
- 14. SEE CIVIL DRAWINGS FOR LOCATION OF FOUNDATION DRAINS AND DRAINAGE STRUCTURES

CONCRETE NOTES:

CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 4000 PSI UNLESS OTHERWISE NOTED; SUBMIT DESIGN MIX FOR REVIEW AND APPROVAL OF THE STRUCTURAL ENGINEER OF RECORD. INCLUDE MATERIAL CERTIFICATES FOR CEMENTITIOUS MATERIALS, ADMIXTURES AND AGGREGATES. EACH ADMIXTURE, AGGREGATE AND CEMENTITIOUS PRODUCT SHALL BE SOURCED FROM A SINGLE DISTRIBUTOR AND MANUFACTURER.

ALL CONCRETE WORK SHALL CONFORM TO ACI 318-08 AND 301-05. CEMENT SHALL COMPLY WITH ASTM C150 TYPE II; AGGREGATES

- ALL CONCRETE EXPOSED TO FREEZING SHALL HAVE A 6% AIR CONTENT (+/-1%). ALL THE OTHER CONCRETE SHALL BE NON-AIR ENTRAINED, WITH 3.0% MAXIMUM AIR CONTENT.
- CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND. WHEN AVERAGE OF HIGH AND LOW TEMPERATURE IS EXPECTED TO FALL BELOW 40° (F) FOR THREE DAYS PROVIDE BLANKETS OR OTHER MEANS OF PROTECTION FOR CURING
- CONCRETE IN CONFORMANCE WITH ACI 301. DO NOT USE FROZEN MATERIALS OR MATERIALS CONTAINING ICE OR SNOW. CONSOLIDATE CONCRETE WITH MECHANICALLY VIBRATING EQUIPMENT IN ACCORDANCE WITH ACI 301; CONTRACTOR IS TO HAVE

TWO (2) OPERATIONAL VIBRATORS AT THE WORK SITE TO SAFEGUARD AGAINST MECHANICAL FAILURE DURING PLACEMENT.

- REINFORCING BARS SHALL CONFORM TO ASTM A-615 GRADE 60 DEFORMED BARS AND SHALL BE DETAILED, FABRICATED, AND PLACED IN ACCORDANCE WITH ACI 315-LATEST EDITION. REINFORCING SHALL BE INSPECTED PRIOR TO PLACEMENT OF CONCRETE.
- REINFORCEMENT SHALL HAVE THE FOLLOWING COVER:

(NORMAL WEIGHT) SHALL COMPLY WITH ASTM C33.

A. CAST AGAINST EARTH: 3"

INSTRUCTIONS.

CONCRETE SLAB-ON-GRADE NOTES:

LEVEL TO WITHIN 3/8" OF DESIGN GRADE.

- B. EXPOSED TO EARTH AND/OR WEATHER:
- #6 TO #18: 2" #5 AND SMALLER: 1 1/2"
- SPLICES OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH ACI 318, UNLESS OTHERWISE NOTED ON DRAWINGS.
- FORMWORK SHALL BE PLACED PLUMB AND SQUARE IN CONFORMANCE WITH ACI 117 TOLERANCES AND WITH AS FEW JOINTS AS PRACTICABLE. FORMS MAY BE SMOOTH OR ROUGH-FACED: PROVIDE BAR SUPPORTS AS REQUIRED TO ACHIEVE CLEARANCES REQUIRED. USE FORM RELEASE AGENTS AND FULLY STRIP ALL FORMWORK PRIOR TO BACKFILLING FOUNDATIONS.
- CONCRETE SHALL BE TESTED BY THE CONTRACTOR'S AGENT. TESTING SHALL BE PERFORMED IN ACCORDANCE WITH ASTM C172. COPIES OF TEST REPORT SHALL BE SENT TO THE OWNER AND THE PROJECT STRUCTURAL ENGINEER.
- OBTAIN ONE SAMPLE FOR EACH DAY'S PLACEMENT EXCEEDING 5 CUBIC YARDS;
- TEST MIXTURE SLUMP AT POINT OF PLACEMENT ACCORDING TO ASTM C143, RETEST IF CONCRETE CONSISTENCY APPEARS TO CHANGE.
- TEST AIR ENTRAINMENT ACCORDING TO ASTM C231; PERFORM ONE TEST PER SAMPLE.
- COMPRESSION TEST: ASTM C39, TEST ONE SET OF TWO CURED SPECIMENS AT 7 DAYS AND ONE SET OF TWO CURED
- PERFORM ADDITIONAL TESTS AS DIRECTED BY STRUCTURAL ENGINEER OF RECORD WHEN TESTING INDICATES CONCRETE REQUIREMENTS HAVE NOT BEEN MET. ADDITIONAL TESTING SHALL BE AT CONTRACTOR'S EXPENSE.
- CORRECT ALL DEFICIENCIES IN THE WORK THAT TEST REPORTS OR INSPECTIONS INDICATE DO NOT COMPLY WITH THE CONSTRUCTION DOCUMENTS.
- EMBEDDED ITEM INSTALLATION: PLACE AND SECURE ANCHORAGE DEVICES AND OTHER EMBEDDED ITEMS REQUIRED FOR ADJOINING WORK THAT IS ATTACHED TO OR SUPPORTED BY CAST-IN-PLACE CONCRETE. USE SETTING DRAWINGS, TEMPLATES, DIAGRAMS, INSTRUCTIONS, AND DIRECTIONS FURNISHED WITH ITEMS TO BE EMBEDDED. INSTALL ANCHOR RODS, ACCURATELY LOCATED, TO ELEVATIONS REQUIRED AND COMPLYING WITH TOLERANCES IN SECTION 7.5 OF AISC 303.
- WATERSTOP INSTALLATION: FLEXIBLE WATERSTOPS: INSTALL IN CONSTRUCTION JOINTS AND AT OTHER JOINTS INDICATED TO FORM A CONTINUOUS DIAPHRAGM. INSTALL IN LONGEST LENGTHS PRACTICABLE. SUPPORT AND PROTECT EXPOSED WATERSTOPS DURING PROGRESS OF THE WORK. FIELD FABRICATE JOINT IN WATERSTOPS ACCORDING TO MANUFACTURER'S WRITTEN
- CONCRETE PLACEMENT: BEFORE PLACING CONCRETE, VERIFY THAT INSTALLATION OF FORMWORK, REINFORCEMENT, AND EMBEDDED ITEMS IS COMPLETE AND THAT REQUIRED INSPECTIONS ARE COMPLETED. DO NOT ADD WATER TO CONCRETE DURING DELIVERY, AT PROJECT SITE, OR DURING PLACEMENT UNLESS APPROVED BY ENGINEER OF RECORD. IF APPROVED, WATER ADDED AT PROJECT SITE MUST BE DONE BEFORE TEST SAMPLING AND PLACING CONCRETE AND SUBJECT TO LIMITATIONS OF ACI 301. DO NOT ADD WATER TO CONCRETE AFTER ADDING HIGH-RANGE WATER-REDUCING ADMIXTURES TO MIXTURE. DEPOSIT CONCRETE CONTINUOUSLY IN ONE LAYER OR IN HORIZONTAL LAYERS OF SUCH THICKNESS THAT NO NEW CONCRETE IS PLACED ON CONCRETE THAT HAS HARDENED ENOUGH TO CAUSE SEAMS OR PLANES OF WEAKNESS. IF A SECTION CANNOT BE PLACED CONTINUOUSLY, PROVIDE CONSTRUCTION JOINTS AS INDICATED. DEPOSIT CONCRETE TO AVOID SEGREGATION.
- ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 GR. 36 UNLESS OTHERWISE NOTED ON DRAWINGS.
- 16. COMPLETE SHOP DRAWINGS OF ALL REINFORCING STEEL SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO COMMENCEMENT OF THAT PORTION OF THE WORK.

BASE MATERIAL UNDER THE SLAB SHALL BE AS NOTED IN THE EARTHWORK NOTES. THE TOP SURFACE OF THE BASE SHALL BE

- CONCRETE SHALL HAVE A MAXIMUM AGGREGATE SIZE OF 1", WITH 90 TO 100 % PASSING A 1" SIEVE. SLABS SHALL BE REINFORCED PER THE DRAWINGS. REINFORCEMENT SHALL BE SUPPORTED WITH CHAIRS PLACED ON A MAXIMUM SPACING OF 3 FT. IN BOTH PLAN DIRECTIONS. REFER TO NOTES ON FOUNDATION PLANS FOR ADDITIONAL SLAB-ON-GRADE REQUIREMENTS.
- ALL CONCRETE FLOOR SURFACES SHALL BE STEEL TROWELLED. FLOORS SHALL BE WET-CURED FOR A MINIMUM OF 7 DAYS. FOR THE FIRST 3 DAYS, THE TEMPERATURE OF APPLIED CURING WATER SHALL BE WITHIN 10 TO 15 DEGREES OF THE SLAB TEMPERATURE. SLAB SHALL BE COVERED WITH NON-WOVEN GEOTEXTILE FABRIC AND POLYETHYLENE SHEET.
- 4. AFTER 7 DAYS OF CURING, THE FLOOR SHALL BE CLEANED OF ALL DIRT, OIL, AND OTHER FOREIGN MATTER. FLOORS THAT RECEIVE A SEALER SHALL BE SEALED AT THIS TIME.
- CONTINUE 50 PERCENT OF SLAB REINFORCEMENT THROUGH CONSTRUCTION AND/OR CONTROL JOINTS. AT INDUSTRIAL OR TRAFFIC JOINTS WILL BE INSTALLED WITH SMOOTH LOAD-TRANSFERING DOWELS, AND SLAB BAR REINFOCEMENT SHALL NOT EXTEND THROUGH JOINT.
- ISOLATION JOINTS SHALL HAVE 3/8" PREFORMED, CLOSED-CELL FOAM JOINT MATERIAL. THE TOP 1/2" OF THE JOINT SHALL BE FILLED WITH POLYURETHANE SEALANT.
- NON-SLIP SURFACE: APPLY A BROOM FINISH TO EXTERIOR CONCRETE WALKING SURFACES, AND ELSEWHERE AS INDICATED. COORDINATE REQUIRED FINAL FINISH WITH OWNER BEFORE APPLICATION. BROOM FINISH: IMMEDIATELY AFTER FLOAT FINISHING, SLIGHTLY ROUGHEN TRAFFICKED SURFACE BY BROOMING WITH FIBER-BRISTLE BROOM PERPENDICULAR TO MAIN TRAFFIC ROUTE.

WOOD FRAMING NOTES:

- COMPLY WITH AF&PA'S WCD 1, "DETAILS FOR CONVENTIONAL WOOD FRAME CONSTRUCTION," UNLESS OTHERWISE INDICATED
- INDIVIDUAL TIMBER FRAMING MEMBERS SHALL BE VISUALLY GRADED, MINIMUM GRADE NO.2 SPRUCE-PINE-FIR, U.N.O. MAXIMUM MOISTURE CONTENT SHALL BE 15% FOR MEMBERS W/ NOMINAL THICKNESS 2" OR LESS & 19% FOR THICKER MEMBERS. FACTORY MARK EACH PIECE OF LUMBER WITH GRADE STAMP OF GRADING AGENCY. FOR EXPOSED LUMBER INDICATED TO RECEIVE A STAINED OR NATURAL FINISH, MARK GRADE STAMP ON END OR BACK OF EACH PIECE OR OMIT GRADE STAMP AND PROVIDE
- EXPOSED FRAMING INDICATED TO RECEIVE A STAINED OR NATURAL FINISH: HAND-SELECT MATERIAL FOR UNIFORMITY OF APPEARANCE AND FREEDOM FROM CHARACTERISTICS, ON EXPOSED SURFACES AND EDGES THAT WOULD IMPAIR FINISH

CERTIFICATES OF GRADE COMPLIANCE ISSUED BY GRADING AGENCY.

PRESSURE TREATED TIMBER (AWPA U1: USE CATEGORY UC2) SHALL BE USED FOR THE FOLLOWING ITEMS.

APPEARANCE, INCLUDING DECAY, HONEYCOMB, KNOT-HOLES, SHAKE, SPLITS, TORN GRAIN, AND WANE.

- WOOD CANTS, NAILERS, CURBS, EQUIPMENT SUPPORT BASES, BLOCKING, STRIPPING, AND SIMILAR MEMBERS IN CONNECTION WITH ROOFING, FLASHING, VAPOR BARRIERS, AND WATERPROOFING. WOOD FRAMING AND FURRING ATTACHED DIRECTLY TO THE INTERIOR OF BELOW-GRADE EXTERIOR MASONRY OR
- WOOD FRAMING MEMBERS THAT ARE LESS THAN 18 INCHES (460 MM) ABOVE THE GROUND IN CRAWLSPACES OR UNEXCAVATED AREAS.
- WOOD FLOOR PLATES THAT ARE INSTALLED OVER CONCRETE SLABS-ON-GRADE. PRESSURE TREATED TIMBER SHALL BE SOUTHERN PINE #2. PRESERVATIVE CHEMICALS SHALL CONTAIN NO ARSENIC OR CHROMIUM. KILN-DRY LUMBER AFTER TREATMENT TO A MAXIMUM MOISTURE CONTENT OF 19%. DO NOT USE MATERIAL THAT IS

WARPED OR THAT DOES NOT COMPLY WITH REQUIREMENTS OF UNTREATED MATERIAL. MARK LUMBER WITH TREATMENT QUALITY

- MARK OF AN INSPECTION AGENCY APPROVED BY THE ALSC BOARD OF REVIEW. FOR EXPOSED LUMBER INDICATED TO RECEIVE A STAINED OR NATURAL FINISH, MARK END OR BACK OF EACH PIECE OR OMIT MARKING AND PROVIDE CERTIFICATES OF TREATMENT COMPLIANCE ISSUED BY INSPECTION AGENCY. FOR EXPOSED ITEMS INDICATED TO RECEIVE A STAINED OR NATURAL FINISH, CHEMICAL FORMULATIONS SHALL NOT REQUIRE INCISING, CONTAIN COLORANTS, BLEED THROUGH, OR OTHERWISE ADVERSELY
- ENGINEERED LUMBER BEAMS SHALL BE "VERSALAM" BY BOISE CASCADE, IN THE SIZE SHOWN ON THE DRAWINGS. UNITS BUILT UP WITH MULTIPLE PLIES SHALL BE INTERCONNECTED ACCORDING TO MANUFACTURER'S REQUIREMENTS.
- LAMINATED-VENEER LUMBER: STRUCTURAL COMPOSITE LUMBER MADE FROM WOOD VENEERS WITH GRAIN PRIMARILY PARALLEL TO MEMBER LENGTHS, EVALUATED AND MONITORED ACCORDING TO ASTM D 5456 AND MANUFACTURED WITH AN EXTERIOR-TYPE ADHESIVE COMPLYING WITH ASTM D 2559.
- FOR BLOCKING NOT USED FOR ATTACHMENT OF OTHER CONSTRUCTION, UTILITY, STUD, OR NO. 3 GRADE LUMBER OF ANY SPECIES MAY BE USED PROVIDED THAT IT IS CUT AND SELECTED TO ELIMINATE DEFECTS THAT WILL INTERFERE WITH ITS ATTACHMENT AND PURPOSE.
- FOR BLOCKING AND NAILERS USED FOR ATTACHMENT OF OTHER CONSTRUCTION, SELECT AND CUT LUMBER TO ELIMINATE KNOTS AND OTHER DEFECTS THAT WILL INTERFERE WITH ATTACHMENT OF OTHER WORK.
- 10. FOR FURRING STRIPS FOR INSTALLING PLYWOOD OR HARDBOARD PANELING, SELECT BOARDS WITH NO KNOTS CAPABLE OF PRODUCING BENT-OVER NAILS AND DAMAGE TO PANELING.
- 11. THE QUANTITY AND SIZE OF FASTENERS CONNECTING WOOD FRAME MEMBERS SHALL BE NOT LESS THAN SPECIFIED IN IBC 2009 TABLE 2304.9.1 FASTENING SCHEDULE. ALL NAILS SHALL BE COMMON TYP NAILS, U.N.O.
- FASTENERS SHALL BE HOT DIPPED GALVANIZED WHERE EXPOSED TO WEATHER, IN GROUND CONTACT, IN CONTACT WITH TREATED WOOD, OR IN AN AREA WITH RELATIVLY HIGH HUMIDITY. 13. HOLES FOR BOLTS SHALL BE DRILLED TO A DIAMETER THAT IS 1/16" LARGER THAN THE NOMINAL DIAMETER OF THE BOLT. HOLES
- FOR THE UNTHREADED PORTION OF LAG SCREWS SHALL BE DRILLED TO A DIAMETER THAT IS THE SAME AS THE NOMINAL DIAMETER OF THE LAG SCREW SHANK. A PILOT HOLE FOR THE THREADED PORTION OF THE LAG SCREW SHALL BE DRILLED AND SHALL HAVE A DIAMETER THAT IS HALF THE NOMINAL DIAMETER OF THE LAG SCREW SHANK.
- APPROVED EQUAL. PRE-MANUFACTURED MATERIALS, INCLUDING ANCHOR BOLTS AND SIMPSON HANGERS, SHALL BE INSTALLED IN STRICT

14. ALL MISCELLANEOUS METAL HARDWARE (HANGERS, TIES, ETC.) SHALL BE AS MANUFACTURED BY SIMPSON STRONG TIE OR

- ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS. 16. ALL TOP PLATE SPLICES SHALL BE OVER A STUD OR HEADER, WITH A 4'-0" OVERLAP EACH WAY WITH SECOND TOP PLATE.
- 17. ATTACH ALL BOTTOM PLATES TO MUD SILL PLATES W/ MIN. OF (6) 12D NAILS PER 16" OF PLATE.

SHEATHING NOTES:

ROOF SHEATHING SHALL BE 3/4" APA RATED SHEATHING, PANEL SPAN RATING 24/16, EXPOSURE 1, NAILED WITH MINIMUM OF 10D NAILS AT 4" OC AT BLDG PERIMETER (EDGE OF ROOF AT OVERHANGS), AT 6" O.C. AT OTHER SUPPORTED PANEL EDGES AND 12"

- O.C. AT INTERMEDIATE SUPPORTS. A 1/8" GAP IS REQUIRED BETWEEN ROOF PANELS AT ALL END JOINTS END JOINTS FOR ROOF SHEATHING SHALL BE STAGGERED. LONG DIMENSION OF UNCUT SHEATHING PANELS SHALL BE PERPENDICULAR TO SUPPORTS.
- WALL SHEATHING SHALL BE 1/2" APA RATED SHEATHING, STRUCTURAL 1, EXTERIOR 32/16 RATED. INSTALL PANELS W/ LONG DIMENSION PERPENDICULAR TO SUPPORTS & END JOINTS STAGGERED. FASTEN TO SUPPORTS WITH **PER SHEAR WALL SCHEDULE**
- MINIMUM NUMBER OF JOINTS OR OPTIMUM JOINT ARRANGEMENT. ARRANGE JOINTS SO THAT PIECES DO NOT SPAN BETWEEN FEWER THAN THREE SUPPORT MEMBERS. CUT PANELS AT PENETRATIONS, EDGES, AND OTHER OBSTRUCTIONS OF WORK; FIT TIGHTLY AGAINST ABUTTING CONSTRUCTION

DO NOT USE MATERIALS WITH DEFECTS THAT IMPAIR QUALITY OF SHEATHING OR PIECES THAT ARE TOO SMALL TO USE WITH

UNLESS OTHERWISE INDICATED. SECURELY ATTACH TO SUBSTRATE BY FASTENING AS INDICATED, COMPLYING WITH THE FOLLOWING:

TABLE 2304.9.1, "FASTENING SCHEDULE," IN THE ICC'S INTERNATIONAL BUILDING CODE.

- TABLE R602.3(1), "FASTENER SCHEDULE FOR STRUCTURAL MEMBERS," AND TABLE R602.3(2), "ALTERNATE ATTACHMENTS," IN THE ICC'S INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS. ICC-ES EVALUATION REPORT FOR FASTENER. USE COMMON WIRE NAILS UNLESS OTHERWISE INDICATED. SELECT FASTENERS OF SIZE THAT WILL NOT FULLY PENETRATE
- MEMBERS WHERE OPPOSITE SIDE WILL BE EXPOSED TO VIEW OR WILL RECEIVE FINISH MATERIALS. MAKE TIGHT CONNECTIONS. INSTALL FASTENERS WITHOUT SPLITTING WOOD. COORDINATE WALL PARAPET AND ROOF SHEATHING INSTALLATION WITH FLASHING AND JOINT-SEALANT INSTALLATION SO THESE
- DO NOT BRIDGE BUILDING EXPANSION JOINTS; CUT AND SPACE EDGES OF PANELS TO MATCH SPACING OF STRUCTURAL SUPPORT

MATERIALS ARE INSTALLED IN SEQUENCE AND MANNER THAT PREVENT EXTERIOR MOISTURE FROM PASSING THROUGH

- COORDINATE SHEATHING INSTALLATION WITH INSTALLATION OF MATERIALS INSTALLED OVER SHEATHING SO SHEATHING IS NOT
- 11. ABAA QUALITY ASSURANCE PROGRAM: PERFORM EXAMINATIONS, PREPARATION, INSTALLATION, TESTING, AND INSPECTIONS UNDER ABAA'S QUALITY ASSURANCE PROGRAM.

EXPOSED TO PRECIPITATION OR LEFT EXPOSED AT END OF THE WORKDAY WHEN RAIN IS FORECAST.

REINFORCED MASONRY NOTES:

DELIVERY, STORAGE AND HANDLING: A. STORE MASONRY UNITS ON ELEVATED PLATFORMS IN A DRY LOCATION. IF UNITS ARE NOT STORED IN AN ENCLOSED

LOCATION, COVER TOPS AND SIDES OF STACKS WITH WATERPROOF SHEETING, SECURELY TIED. IF UNITS BECOME WET, DO

- STORE CEMENTITIOUS MATERIALS ON ELEVATED PLATFORMS, UNDER COVER, AND IN A DRY LOCATION. DO NOT USE
- CEMENTITIOUS MATERIALS THAT HAVE BECOME DAMP. STORE AGGREGATES WHERE GRADING AND OTHER REQUIRED CHARACTERISTICS CAN BE MAINTAINED AND
- DELIVER PREBLENDED, DRY MORTAR MIX IN MOISTURE-RESISTANT CONTAINERS. STORE PREBLENDED, DRY MORTAR MIX IN DELIVERY CONTAINERS ON ELEVATED PLATFORMS IN A DRY LOCATION OR IN COVERED WEATHERPROOF DISPENSING
- E. STORE MASONRY ACCESSORIES, INCLUDING METAL ITEMS, TO PREVENT CORROSION AND ACCUMULATION OF DIRT AND OIL.
- FIELD QUALITY CONTROL A. TESTING AND INSPECTING: OWNER WILL ENGAGE SPECIAL INSPECTORS TO PERFORM TESTS AND INSPECTIONS AND PREPARE REPORTS. ALLOW INSPECTORS ACCESS TO SCAFFOLDING AND WORK AREAS AS NEEDED TO PERFORM TESTS
- AND INSPECTIONS. RETESTING OF MATERIALS THAT FAIL TO COMPLY WITH SPECIFIED REQUIREMENTS SHALL BE DONE AT CONTRACTOR'S EXPENSE. INSPECTIONS: SPECIAL INSPECTIONS ACCORDING TO LEVEL B IN TMS 402/ACI 530/ASCE
- BEGIN MASONRY CONSTRUCTION ONLY AFTER INSPECTORS HAVE VERIFIED PROPORTIONS OF SITE-PREPARED MORTAR. PLACE GROUTS ONLY AFTER INSPECTORS HAVE VERIFIED COMPLIANCE OF GROUT SPACES AND OF GRADES, SIZES, AND LOCATIONS OF REINFORCEMENT.
- PLACE GROUT ONLY AFTER INSPECTORS HAVE VERIFIED PROPORTIONS OF SITE-PREPARED GROUT. TESTING PRIOR TO CONSTRUCTION: ONE SET OF TESTS.
- TESTING FREQUENCY: ONE SET OF TESTS FOR EACH 5000 SQ. FT. OF WALL AREA OR PORTION THEREOF. CONCRETE MASONRY UNIT TEST: FOR EACH TYPE OF UNIT PROVIDED, ACCORDING TO ASTM C 140 FOR COMPRESSIVE
- MORTAR AGGREGATE RATIO TEST (PROPORTION SPECIFICATION): FOR EACH MIX PROVIDED, ACCORDING TO ASTM C 780. MORTAR TEST (PROPERTY SPECIFICATION): FOR EACH MIX PROVIDED, ACCORDING TO ASTM C 780. TEST MORTAR FOR

MORTAL AIR CONTENT AND COMPRESSIVE STRENGTH.

GROUND AND OVER WALL SURFACE.

FINISHES, FROM MORTAR DROPPINGS.

UNLESS OTHERWISE INDICATED..

- GROUT TEST (COMPRESSIVE STRENGTH): FOR EACH MIX PROVIDED. ACCORDING TO ASTM C 1019. PRISM TEST: FOR EACH TYPE OF CONSTRUCTION PROVIDED, ACCORDING TO ASTM C 1314 AT 7 DAYS AND AT 28 DAYS. DURING CONSTRUCTION, COVER TOPS OF WALLS, PROJECTIONS, AND SILLS WITH WATERPROOF SHEETING AT END OF EACH DAY'S
- WORK. COVER PARTIALLY COMPLETED MASONRY WHEN CONSTRUCTION IS NOT IN PROGRESS. EXTEND COVER A MINIMUM OF 24" DOWN BOTH SIDES OF WALLS AND HOLD COVER SECURELY IN PLACE.
- STAIN PREVENTION: PREVENT GROUT, MORTAR, AND SOIL FROM STAINING THE FACE OF MASONRY TO BE LEFT EXPOSED OR PAINTED. IMMEDIATELY REMOVE GROUT, MORTAR, AND SOIL THAT COME IN CONTACT WITH SUCH MASONRY. A. PROTECT BASE OF WALLS FROM RAIN-SPLASHED MUD AND FROM MORTAR SPLATTER BY SPREADING COVERINGS ON
- PROTECT SILLS, LEDGES, AND PROJECTIONS FROM MORTAR DROPPINGS. PROTECT SURFACES OF WINDOW AND DOOR FRAMES, AS WELL AS SIMILAR PRODUCTS WITH PAINTED AND INTEGRAL
- MORTAR AND DIRT ONTO COMPLETED MASONRY. REFER TO **SF501** FOR A WALL ELEVATION SHOWING TYPICAL REINFORCEMENT REQUIREMENTS. THESE REQUIREMENTS APPLY TO

TURN SCAFFOLD BOARDS NEAR THE WALL ON EDGE AT THE END OF EACH DAY TO PREVENT RAIN FROM SPLASHING

STRUCTURAL WALLS & NON-STRUCTURAL PARTITIONS.

TEES.

- GROUT LIFT HEIGHT SHALL NOT EXCEED 5 FEET. GROUT POUR HEIGHT SHALL NOT EXCEED 10 FEET. PROVIDE CLEANOUTS IN THE BOTTOM COURSE OF MASONRY FOR EACH GROUT POUR, WHEN GROUT POUR EXCEEDS 5 FEET.
- GROUTING SHALL BE STOPPED 1-1/2" BELOW THE TOP OF A COURSE TO FORM A KEY AT THE JOINT. GROUTING OF MASONRY BEAMS OR LINTELS SHALL BE DONE IN ONE CONTINUOUS OPERATION. FILL CORES IN HOLLOW CMUs WITH GROUT 24" UNDER BEARING PLATES, BEAMS, LINTELS, POSTS, AND SIMILAR ITEMS
- A. ALL WALLS SHOWN ON STRUCTURAL FRAMING PLANS VERTICAL REINFORCING SIZE SHALL BE AS SPECIFIED ON THE
- DRAWINGS, AND SHALL BE PLACED AT EACH JAMB OF EACH WALL OPENING, AT EACH WALL END, AT EACH SIDE OF WALL
- CONTROL JOINT, AT EACH WALL INTERSECTION]. SPLICED REINFORCING SHALL BE LAPPED AS SHOWN ON LAP SPLICE SCHEDULE. VERTICAL REINFORCING BARS SHALL HAVE A MINIMUM CLEARANCE OF 3/4" FROM MASONRY AND SHALL BE HELD IN
- POSITION TOP AND BOTTOM AND AT INTERVALS NOT EXCEEDING 4 FEET. WIRE ACCESSORIES FOR SUCH SUPPORT SHALL BE USED, E.G. REBAR POSITIONER RB-8/10 BY HOHMANN & BARNARD OR SIMILAR. FOUNDATION DOWELS MAY BE SLOPED NO MORE THAN 1:6 TO ALIGN WITH WALL CAVITIES OR VERTICAL CMU CORES.
- DOWEL EMBEDMENT SHALL BE 48 BAR DIA. MIN. HORIZONTAL JOINT REINFORCING SHALL BE STANDARD LADDER TYPE U.N.O. AND SHALL BE INSTALLED AT 16" O.C. MAXIMUM. REINFORCEMENT SHALL BE CONTINUOUS, LAPPED NOT LESS THAT 12" AT ALL SPLICES, INCLUDING CORNERS AND
- INSTALL CONTROL AND EXPANSION JOINT MATERIALS IN UNIT MASONRY AS MASONRY PROGRESSES. DO NOT ALLOW MATERIALS TO SPAN CONTROL AND EXPANSION JOINTS WITHOUT PROVISION TO ALLOW FOR IN-PLANE WALL OR PARTITION MOVEMENT.
- A. PROVIDE CONTROL JOINTS IN CONCRETE MASONRY WALLS AS INDICATED OR, IF NOT INDICATED, AT A MAXIMUM SPACING OF 30' ON CENTER.
- FIT BOND-BREAKER STRIPS INTO HOLLOW CONTOUR IN ENDS OF CMUS ON ONE SIDE OF CONTROL JOINT. FILL RESULTANT CORE WITH GROUT, AND RAKE OUT JOINTS IN EXPOSED FACES FOR APPLICATION OF SEALANT. INSTALL PREFORMED CONTROL-JOINT GASKETS DESIGNED TO FIT STANDARD SASH BLOCK.
- INSTALL INTERLOCKING UNITS DESIGNED FOR CONTROL JOINTS. INSTALL BOND-BREAKER STRIPS AT JOINT. KEEP HEAD JOINTS FREE AND CLEAR OF MORTAR, OR RAKE OUT JOINT FOR APPLICATION OF SEALANT. INSTALL TEMPORARY FOAM-PLASTIC FILLER IN HEAD JOINTS, AND REMOVE FILLER WHEN UNIT MASONRY IS COMPLETE FOR APPLICATION OF SEALANT.
- ALL INTERSECTING WALLS SHALL BE BONDED TOGETHER WITH OVERLAPPING CMU BLOCKS. IN LOCATIONS WHERE OVERLAPPING IS NOT FEASIBLE STEEL CONNECTION PLATES (PL 1/4" x 1-1/2"Wx24"L W/ 2" BENT ENDS @ 2" EACH END) SHALL BE INSTALLED AT 24"
- 11. STEEL LINTELS: PROVIDE 8" MINIMUM BEARING AT EACH END. LOCATE VERTICAL JAMB REINFORCEMENT @ 12" FROM FACE OF OPENING. INSTALL (2) #4 HORIZONTAL BARS IN A LINTEL BLOCK ABOVE THE STEEL AND EXTEND 24" BEYOND THE OPENING U.N.O. CONCRETE LINTELS: ASTM C1623. MATCHING CMUs IN COLOR. TEXTURE. AND DENSITY CLASSIFICATION: AND WITH REINFORCING BARS INDICATED. PROVIDE LINTELS WITH NET AREA COMPRESSIVE STRNGTH NOT LESS THAN THAT OF CMUs. MASONRY LINTELS: PREFABRICATED OR BUILT-IN-PLACE MASONRY LINTELS MADE FROM BOND BEAM CMUS MATCHING ADJACENT CMUS IN COLOR. TEXTURE. AND DENSITY CLASSIFICATION. WITH REINFORCING BARS PLACED AS INDICATED AND FILLED WITH COARSE GROUT. CURE PRECAST LINTELS BEFORE HANDLING AND INSTALLING. TEMPORARILY SUPPORT BUILT-IN-PLACE LINTELS
- UNTIL CURED.
- PROVIDE SHOP DRAWINGS W/ ELEVATIONS OF ALL REINFORCED MASONRY WALLS. INCLUDE DETAILS. BENT BAR DIAGRAMS AND LAYOUT DIMENSIONS AS REQUIRED FOR PROPER INSTALLATION OF MASONRY REINFORCEMENT.

10. ALL MASONRY WORK SHALL BE IN COMPLIANCE W/ ACI 530, ACI 530.1, TMS 402, AND ASCE 6

- LOCATE ALL VERTICAL REINFORCEMENT CENTERED IN THE WALL UNLESS OTHERWISE DETAILED. 14. WHERE VERTICAL MASONRY REINFORCEMENT IS OBSTRUCTED BY STEEL BEARING PLATES, OFFSET BARS AT THE FOUNDATION IN
- ORDER TO MAINTAIN CONTINUITY OF VERTICAL BARS FROM FOUNDATION TO ROOF.
- WHERE STRUCTURAL WALLS ABUT, PROVIDE THE LARGER VERTICAL JAMB REINFORCEMENT ONLY. 16. WHERE BOND BEAMS ARE DISCONTINUOUS, EXTEND REINFORCEMENT 36 BAR DIAMETERS BEYOND THE SPECIFIED TERMINATION
- SET BARS IN EPOXY INJECTION ADHESIVE HILTI HIT HY200 OR AN APPROVED EQUAL. COMPLY WITH MANUFACTURER'S SPECIFICATIONS FOR PREPARATION & PLACEMENT REQUIREMENTS.
- 18. EXAMINE CONDITIONS, WITH INSTALLER PRESENT, FOR COMPLIANCE WITH REQUIREMENTS FOR INSTALLATION TOLERANCES AND OTHER CONDITIONS AFFECTING PERFORMANCE OF THE WORK.
 - A. FOR THE RECORD, PREPARE WRITTEN REPORT, ENDORSED BY INSTALLER, LISTING CONDITIONS DETRIMENTAL TO PERFORMANCE OF THE WORK.
 - VERIFY THAT FOUNDATIONS ARE WITHIN TOLERANCES SPECIFIED. VERIFY THAT REINFORCING DOWELS ARE PROPERLY PLACED. VERIFY THAT SUBSTRATES ARE FREE OF SUBSTANCES THAT WOULD IMPAIR MORTAR BOND.
- BEFORE INSTALLATION, EXAMINE ROUGH-IN AND BUILT-IN CONSTRUCTION FOR PIPING SYSTEMS TO VERIFY ACTUAL LOCATIONS OF PIPING. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
- LEAVE OPENINGS FOR EQUIPMENT TO BE INSTALLED BEFORE COMPLETING MASONRY. AFTER INSTALLING EQUIPMENT, COMPLETE MASONRY TO MATCH CONSTRUCTION IMMEDIATELY ADJACENT TO OPENING. 20. USE FULL-SIZE UNITS WITHOUT CUTTING IF POSSIBLE. IF CUTTING IS REQUIRED TO PROVIDE A CONTINUOUS PATTERN OR TO FIT
- CUT EDGES CONCEALED. LAY OUT WALLS IN ADVANCE FOR ACCURATE SPACING OF SURFACE BOND PATTERNS WITH UNIFORM JOINT THICKNESSES AND FOR ACCURATE LOCATION OF OPENINGS, MOVEMENT-TYPE JOINTS, RETURNS, AND OFFSETS. AVOID USING LESS-THAN-HALF-SIZE
- UNITS, PARTICULARLY AT CORNERS, JAMBS, AND, WHERE POSSIBLE, AT OTHER LOCATIONS, 22. STOPPING AND RESUMING WORK: STOP WORK BY STEPPING BACK UNITS IN EACH COURSE FROM THOSE IN COURSE BELOW; DO NOT TOOTH. WHEN RESUMING WORK. CLEAN MASONRY SURFACES THAT ARE TO RECEIVE MORTAR, REMOVE LOOSE MASONRY UNITS AND MORTAR, AND WET BRICK IF REQUIRED BEFORE LAYING FRESH MASONRY.
- CONCRETE, TO COMPLY WITH THE FOLLOWING: PROVIDE AN OPEN SPACE NOT LESS THAN [1/2"/1"/2"] WIDE BETWEEN MASONRY AND STRUCTURAL STEEL OR CONCRETE
- U.N.O. KEEP OPEN SPACE FREE OF MORTAR AND OTHER RIGID MATERIALS. ANCHOR MASONRY WITH ANCHORS EMBEDDED IN MASONRY JOINTS AND ATTACHED TO STRUCTURE.
- 24. PARGING: PARGE EXTERIOR FACES OF BELOW-GRADE MASONRY WALLS, WHERE INDICATED, IN TWO UNIFORM COATS TO A TOTAL THICKNESS OF 3/4". DAMPEN WALL BEFORE APPLYING FIRST COAT, AND SCARIFY FIRST COAT TO ENSURE FULL BOND TO

SPACE ANCHORS AS INDICATED, BUT NOT MORE THAN 24" O.C. VERTICALLY AND 36" O.C. HORIZONTALLY.

23. ANCHOR MASONRY TO STRUCTURAL STEEL AND CONCRETE, WHERE MASONRY ABUTS OR FACES STRUCTURAL STEEL OR

B. USE A STEEL-TROWEL FINISH TO PRODUCE A SMOOTH, FLAT, DENSE SURFACE WITH A MAXIMUM SURFACE VARIATION OF 1 INCH PER FOOT. FORM A WASH AT TOP OF PARGING AND A COVE AT BOTTOM.

C. DAMP-CURE PARGING FOR AT LEAST 24 HOURS AND PROTECT PARGING UNTIL CURED.

- 25. REPAIRING, POINTING, AND CLEANING A. REMOVE AND REPLACE MASONRY UNITS THAT ARE LOOSE, CHIPPED, BROKEN, STAINED, OR OTHERWISE DAMAGED OR THAT STRUCTURAL GENERAL NOTES DO NOT MATCH ADJOINING UNITS. INSTALL NEW UNITS TO MATCH ADJOINING UNITS; INSTALL IN FRESH MORTAR, POINTED TO ELIMINATE EVIDENCE OF REPLACEMENT.
- WITH MORTAR. POINT UP JOINTS, INCLUDING CORNERS, OPENINGS, AND ADJACENT CONSTRUCTION, TO PROVIDE A NEAT, UNIFORM APPEARANCE. PREPARE JOINTS FOR SEALANT APPLICATION, WHERE INDICATED. IN-PROGRESS CLEANING: CLEAN UNIT MASONRY AS WORK PROGRESSES BY DRY BRUSHING TO REMOVE MORTAR FINS AND SMEARS BEFORE TOOLING JOINTS.

FINAL CLEANING: AFTER MORTAR IS THOROUGHLY SET AND CURED, CLEAN EXPOSED MASONRY AS FOLLOWS:

POINTING: DURING THE TOOLING OF JOINTS, ENLARGE VOIDS AND HOLES, EXCEPT WEEP HOLES, AND COMPLETELY FILL

- TEST CLEANING METHODS ON SAMPLE WALL PANEL; LEAVE ONE-HALF OF PANEL UNCLEANED FOR COMPARISON PURPOSES. OBTAIN ARCHITECT'S APPROVAL OF SAMPLE CLEANING BEFORE PROCEEDING WITH CLEANING OF MASONRY. PROTECT ADJACENT STONE AND NONMASONRY SURFACES FROM CONTACT WITH CLEANER BY COVERING THEM WITH LIQUID STRIPPABLE MASKING AGENT OR POLYETHYLENE FILM AND WATERPROOF MASKING TAPE.
- WET WALL SURFACES WITH WATER BEFORE APPLYING CLEANERS; REMOVE CLEANERS PROMPTLY BY RINSING SURFACES THOROUGHLY WITH CLEAR WATER. CLEAN CONCRETE MASONRY BY APPLICABLE CLEANING METHODS INDICATED IN NCMA TEK 8-4A. USE LIQUID CLEANING METHODS ONLY WHEN AIR TEMPERATURE IS 40 DEG F AND HIGHER AND WILL REMAIN SO UNTIL

MASONRY HAS DRIED, BUT NOT LESS THAN SEVEN DAYS AFTER COMPLETING CLEANING.

PHASED FOR REBID 02-07-25 DESCRIPTION PHASED FOR REBID 02-07-25 CURRENT ISSUE STATUS: ADJOINING CONSTRUCTION, CUT UNITS WITH MOTOR-DRIVEN SAWS; PROVIDE CLEAN, SHARP, UNCHIPPED EDGES. ALLOW UNITS TO DRY BEFORE LAYING UNLESS WETTING OF UNITS IS SPECIFIED. INSTALL CUT UNITS WITH CUT SURFACES AND. WHERE POSSIBLE.

> SMRT Architects and Enginee Portland, Maine 04101

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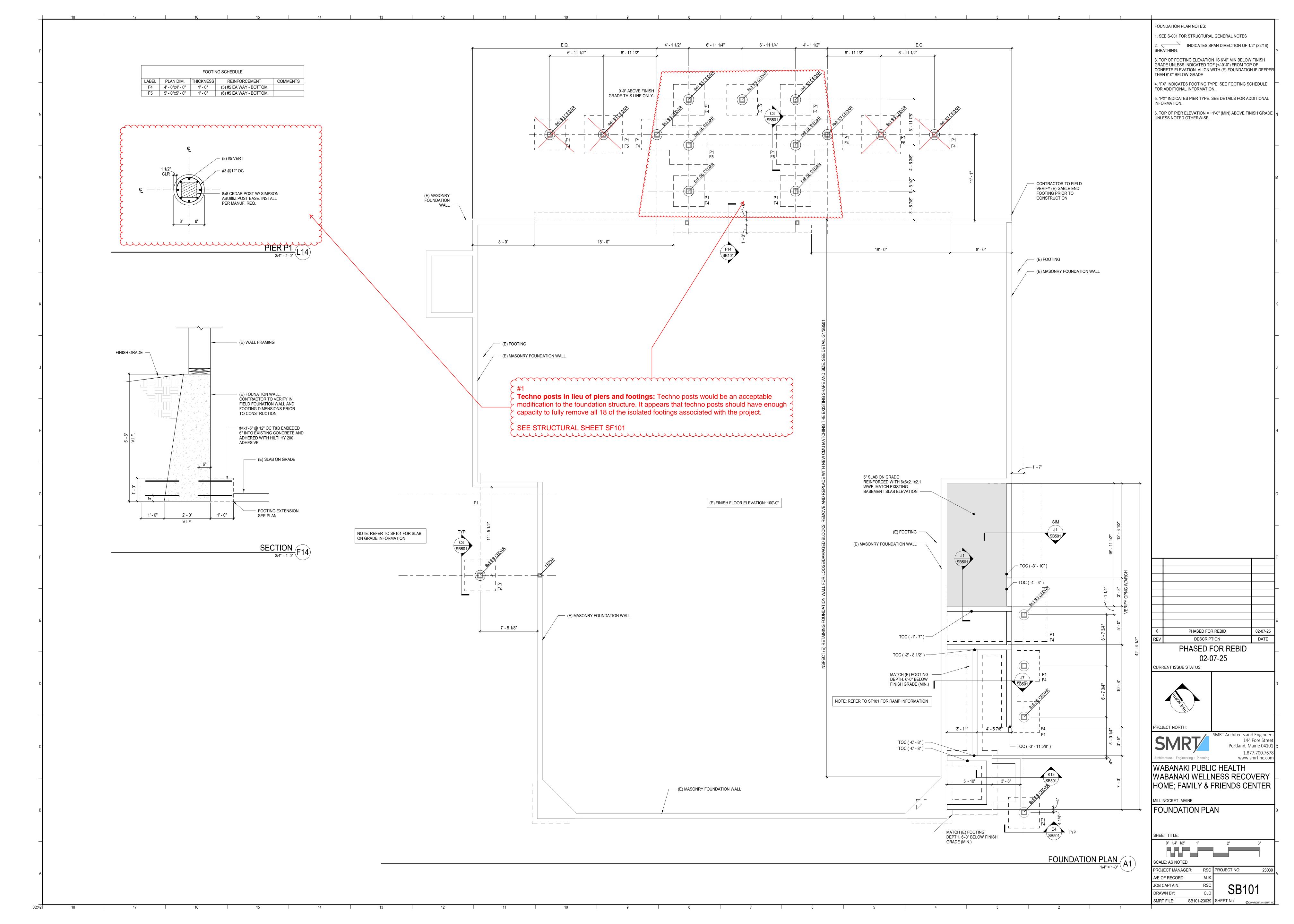
MILLINOCKET. MAINE

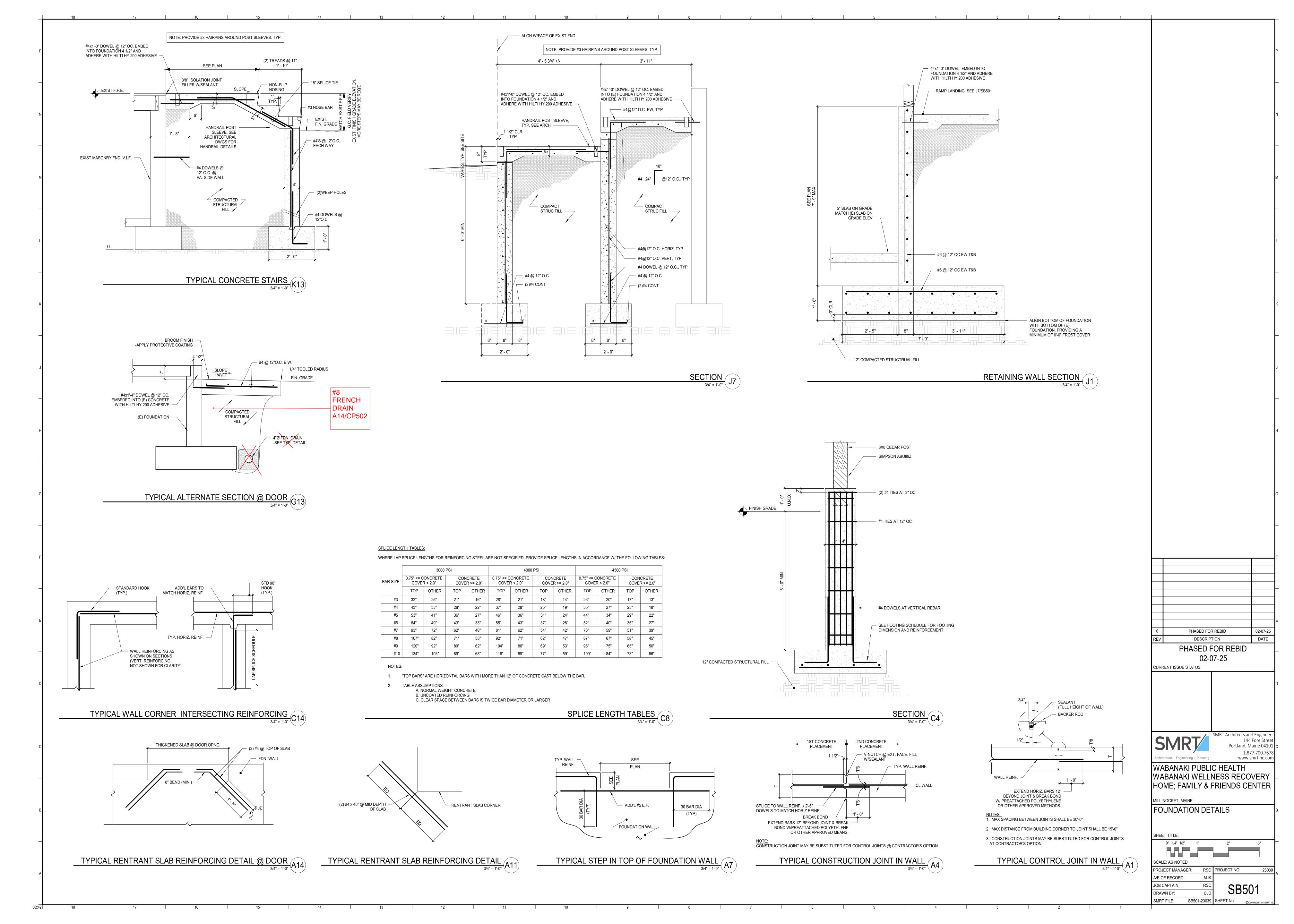
0" 1/4" 1/2" 1" REMOVE LARGE MORTAR PARTICLES BY HAND WITH WOODEN PADDLES AND NONMETALLIC SCRAPE HOES OR CHISELS. SCALE: AS NOTED RSC PROJECT NO: PROJECT MANAGER: A/E OF RECORD:

S-001-23039 SHEET No.

JOB CAPTAIN: DRAWN BY:

SHEET TITLE:



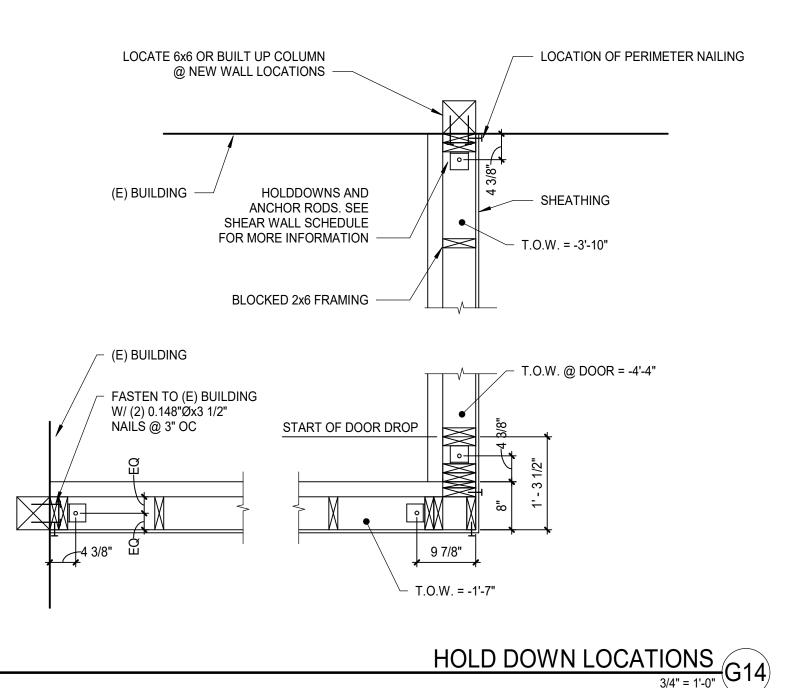


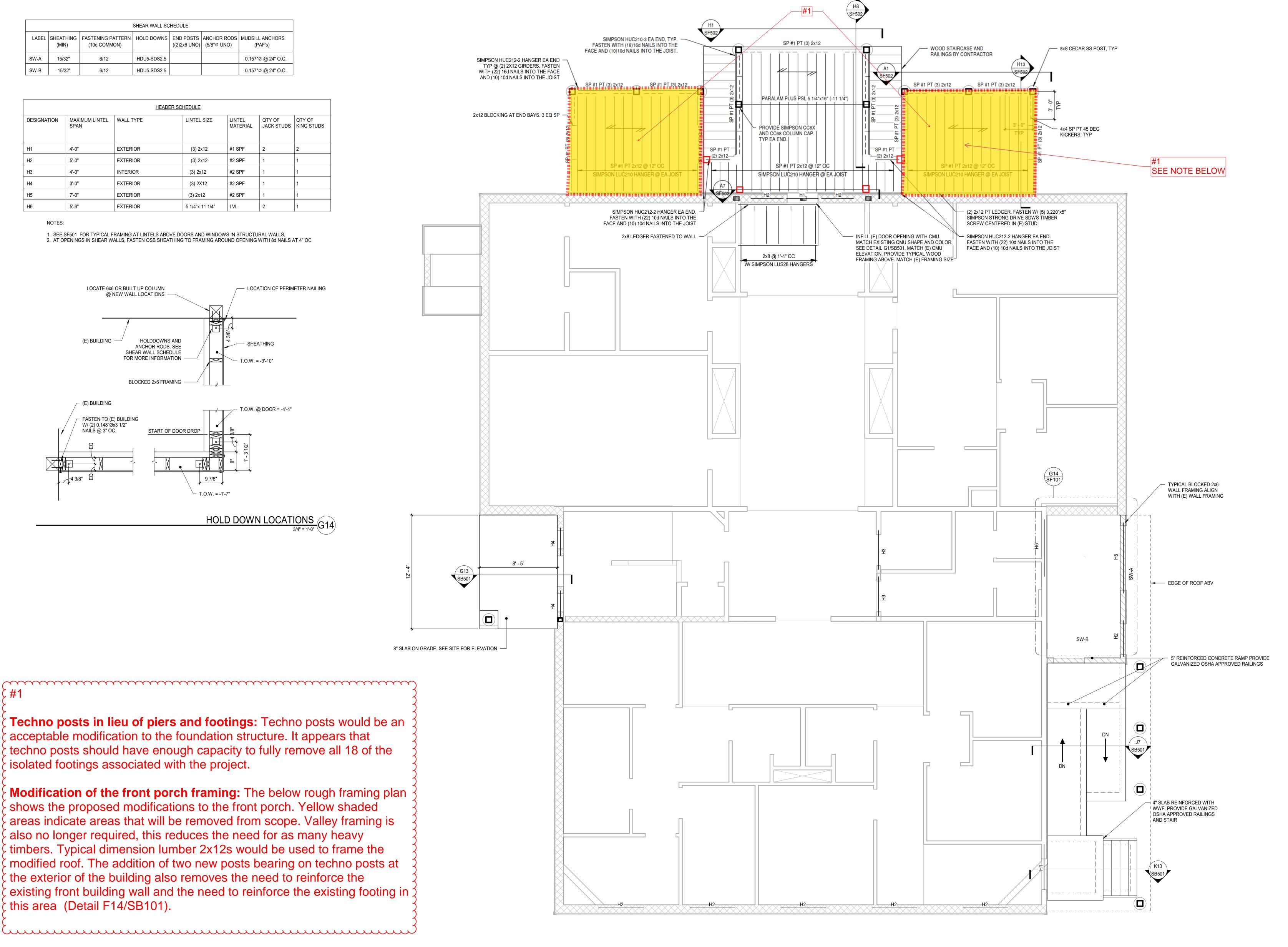
	SHEAR WALL SCHEDULE						
LABEL	SHEATHING (MIN)	FASTENING PATTERN (10d COMMON)	HOLD DOWNS	END POSTS ((2)2x6 UNO)		MUDSILL ANCHORS (PAF's)	
SW-A	15/32"	6/12	HDU5-SDS2.5			0.157"Ø @ 24" O.C.	
SW-B	15/32"	6/12	HDU5-SDS2.5			0.157"Ø @ 24" O.C.	

	HEADER SCHEDULE						
DESIGNATION	MAXIMUM LINTEL SPAN	WALL TYPE	LINTEL SIZE	LINTEL MATERIAL	QTY OF JACK STUDS	QTY OF KING STUDS	
H1	4'-0"	EXTERIOR	(3) 2x12	#1 SPF	2	2	
H2	5'-0"	EXTERIOR	(3) 2x12	#2 SPF	1	1	
Н3	4'-0"	INTERIOR	(3) 2x12	#2 SPF	1	1	
H4	3'-0"	EXTERIOR	(3) 2X12	#2 SPF	1	1	
H5	7'-0"	EXTERIOR	(3) 2x12	#2 SPF	1	1	
H6	5'-6"	EXTERIOR	5 1/4"x 11 1/4"	LVL	2	1	

NOTES:

1. SEE SF501 FOR TYPICAL FRAMING AT LINTELS ABOVE DOORS AND WINDOWS IN STRUCTURAL WALLS. 2. AT OPENINGS IN SHEAR WALLS, FASTEN OSB SHEATHING TO FRAMING AROUND OPENING WITH 8d NAILS AT 4" OC





Techno posts in lieu of piers and footings: Techno posts would be an acceptable modification to the foundation structure. It appears that techno posts should have enough capacity to fully remove all 18 of the isolated footings associated with the project.

Modification of the front porch framing: The below rough framing plan shows the proposed modifications to the front porch. Yellow shaded areas indicate areas that will be removed from scope. Valley framing is also no longer required, this reduces the need for as many heavy timbers. Typical dimension lumber 2x12s would be used to frame the modified roof. The addition of two new posts bearing on techno posts at the exterior of the building also removes the need to reinforce the existing front building wall and the need to reinforce the existing footing in this area (Detail F14/SB101).

CURRENT ISSUE STATUS:

IRST FLOOR FRAMING PLAN NOTES:

SEE ARCH FOR MORE INFO.

FLOOR SHEATHING.

. SEE S-001 FOR STRUCTURAL GENERAL NOTES

2. INDICATES SPAN DIRECTION OF CEDAR DECKING.

3. INDICATES SPAN DIRECTION OF 23/32" STURD-I-

WABANAKI PUBLIC HEALTH WABANAKI WELLNESS RECOVERY

144 Fore Street

PHASED FOR REBID

02-07-25

HOME; FAMILY & FRIENDS CENTER

MILLINOCKET, MAINE FRAMING PLAN

SMRT FILE:

RSC PROJECT NO:

SF101-23039 SHEET No.

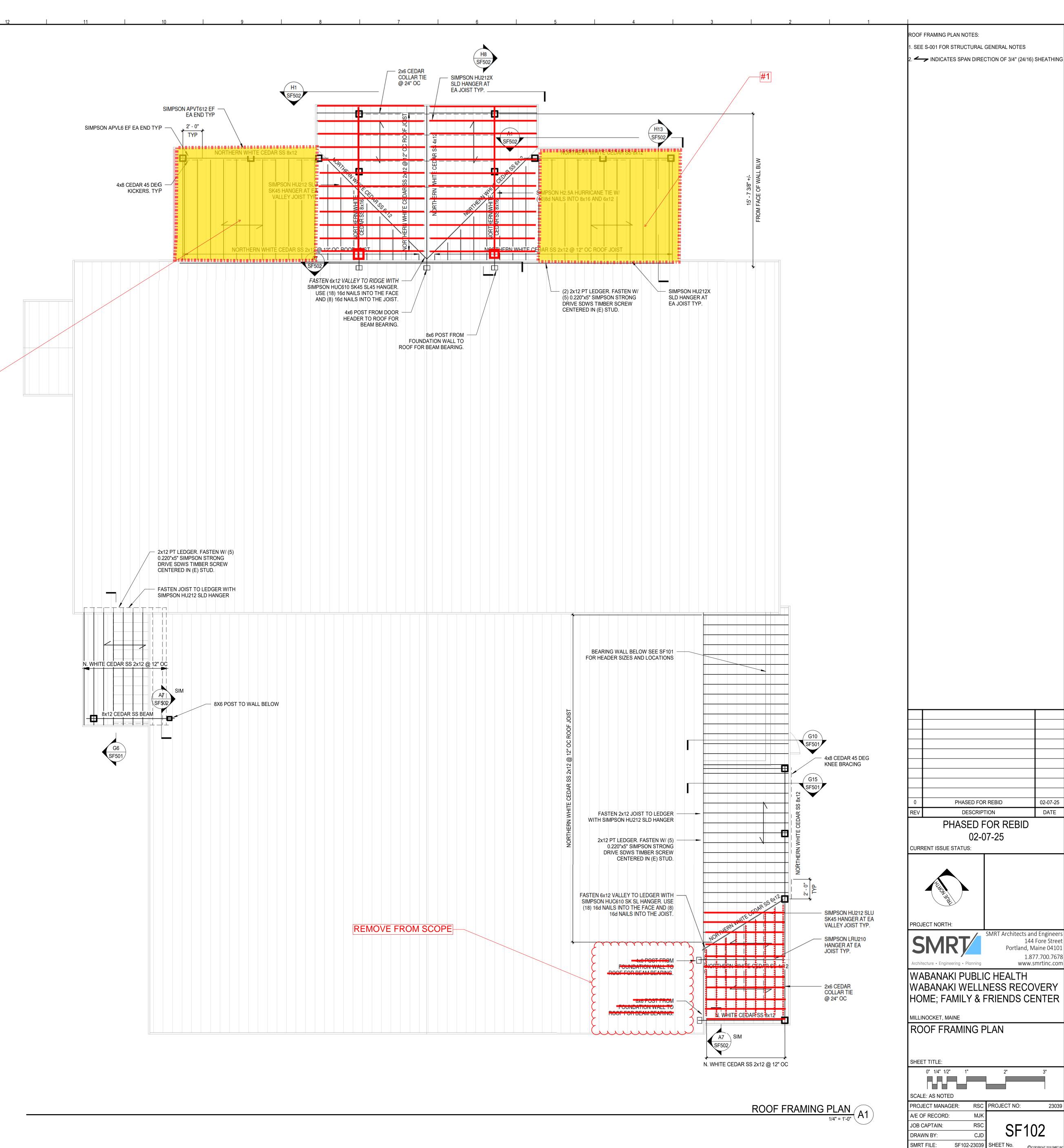
SF101

1ST FLOOR FRAMING PLAN
1/4" = 1'-0"

A1

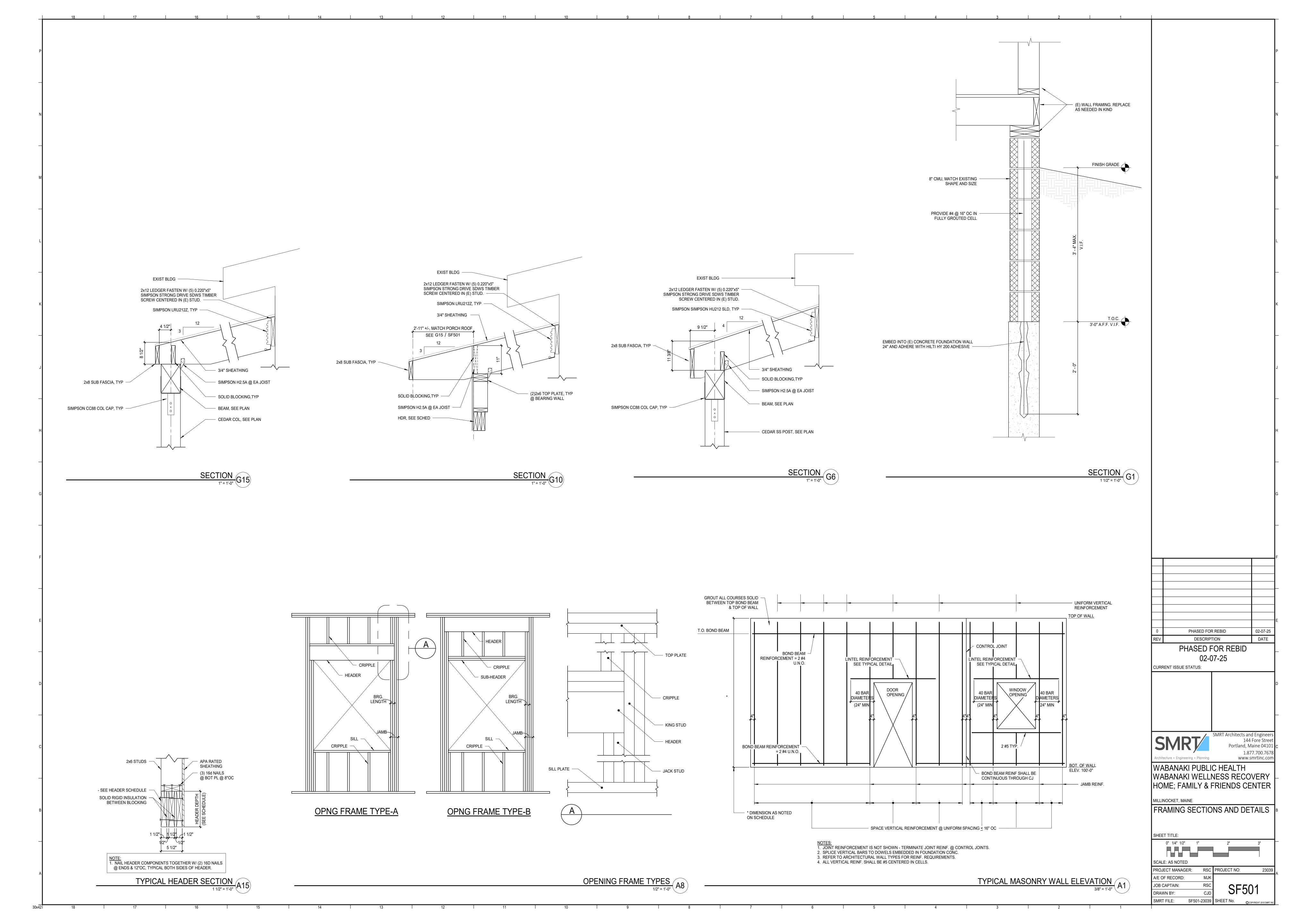
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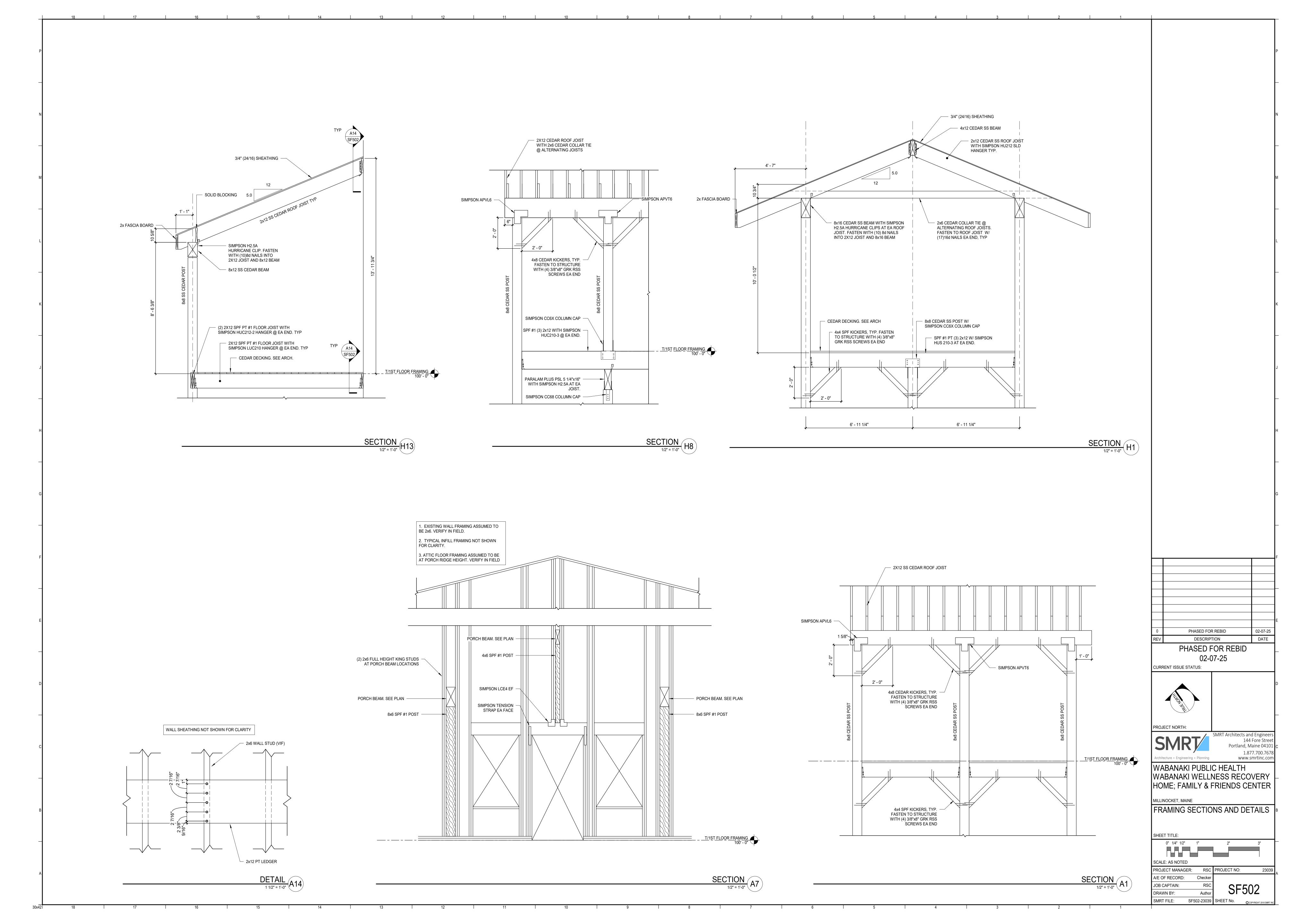
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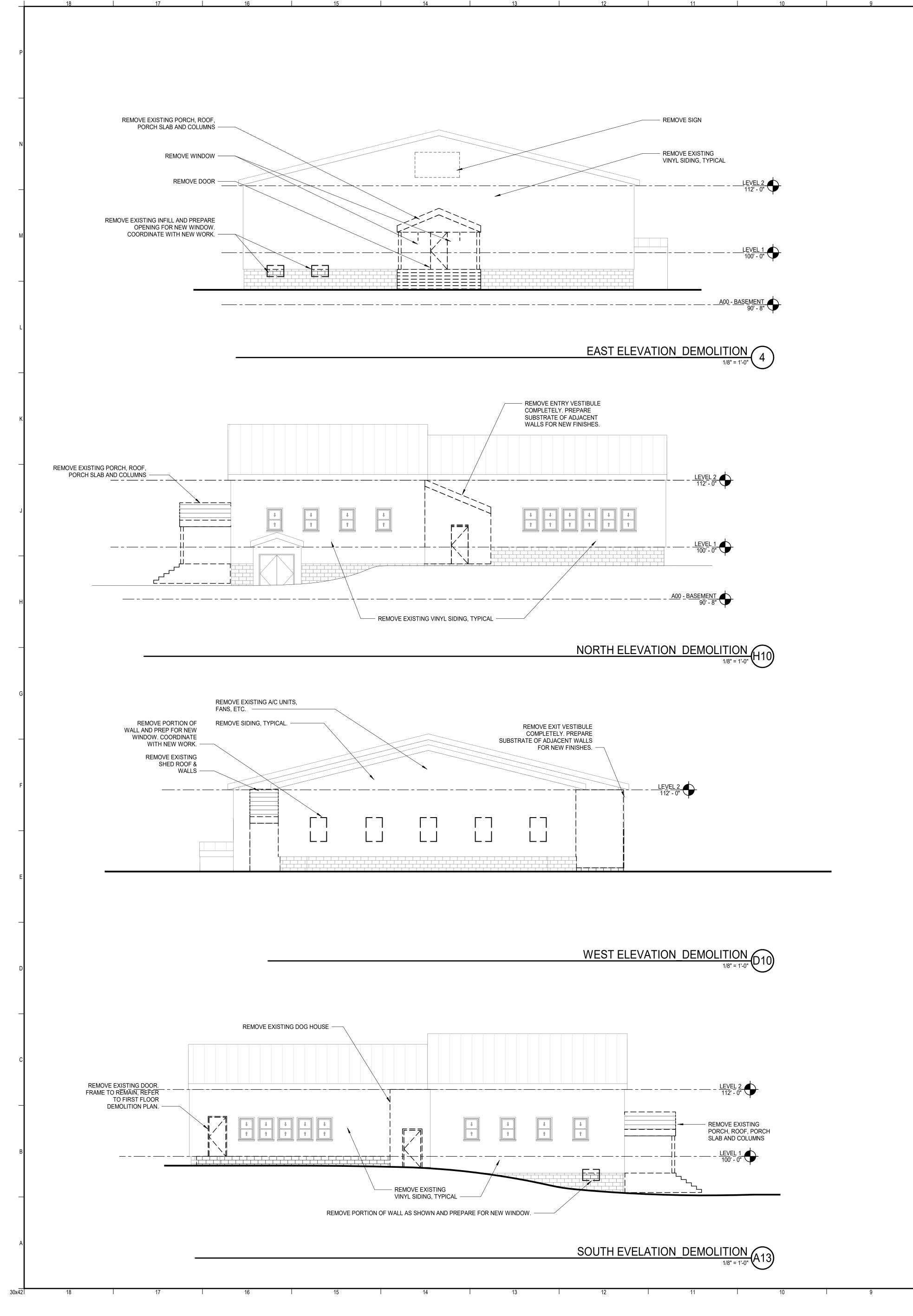


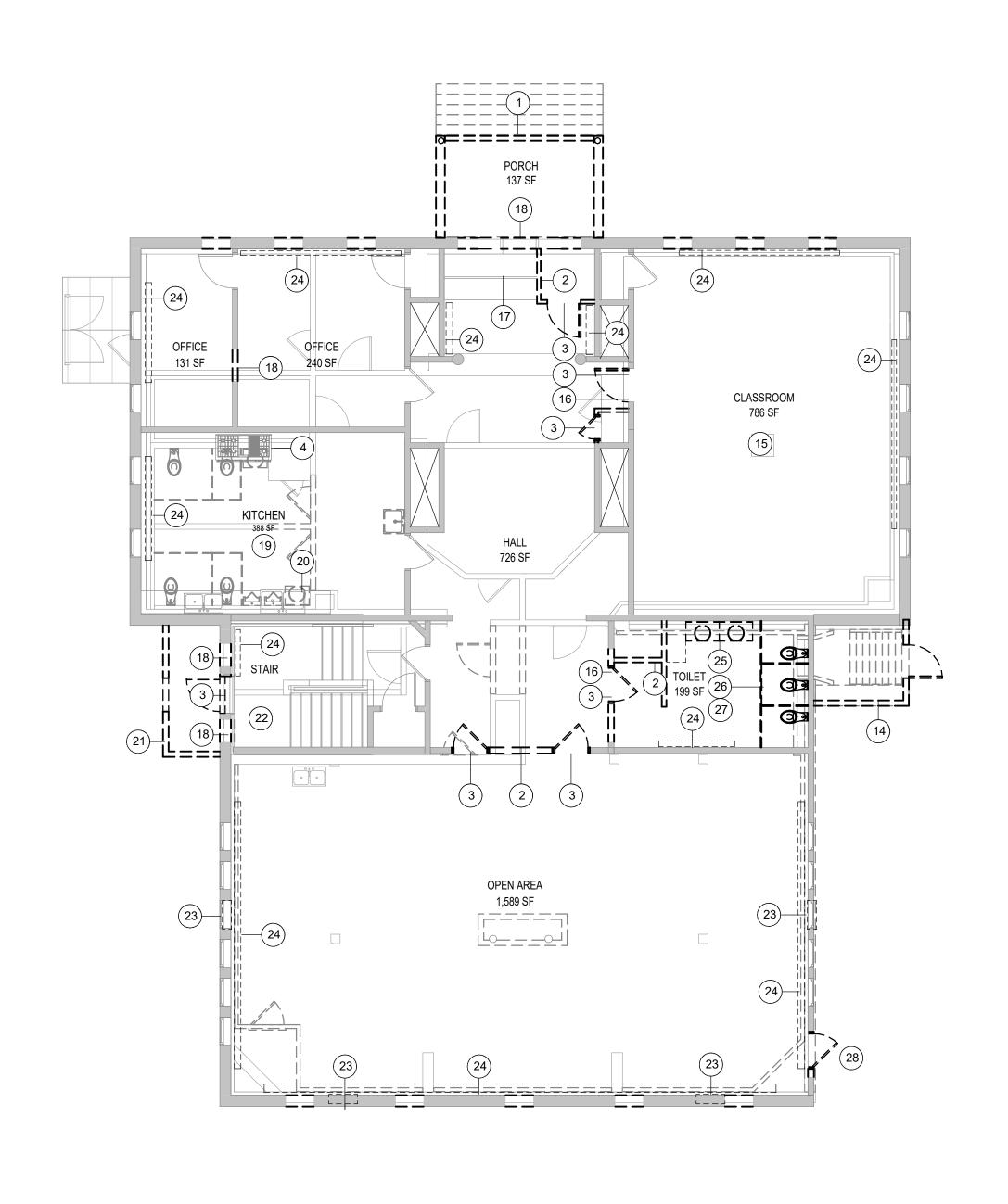
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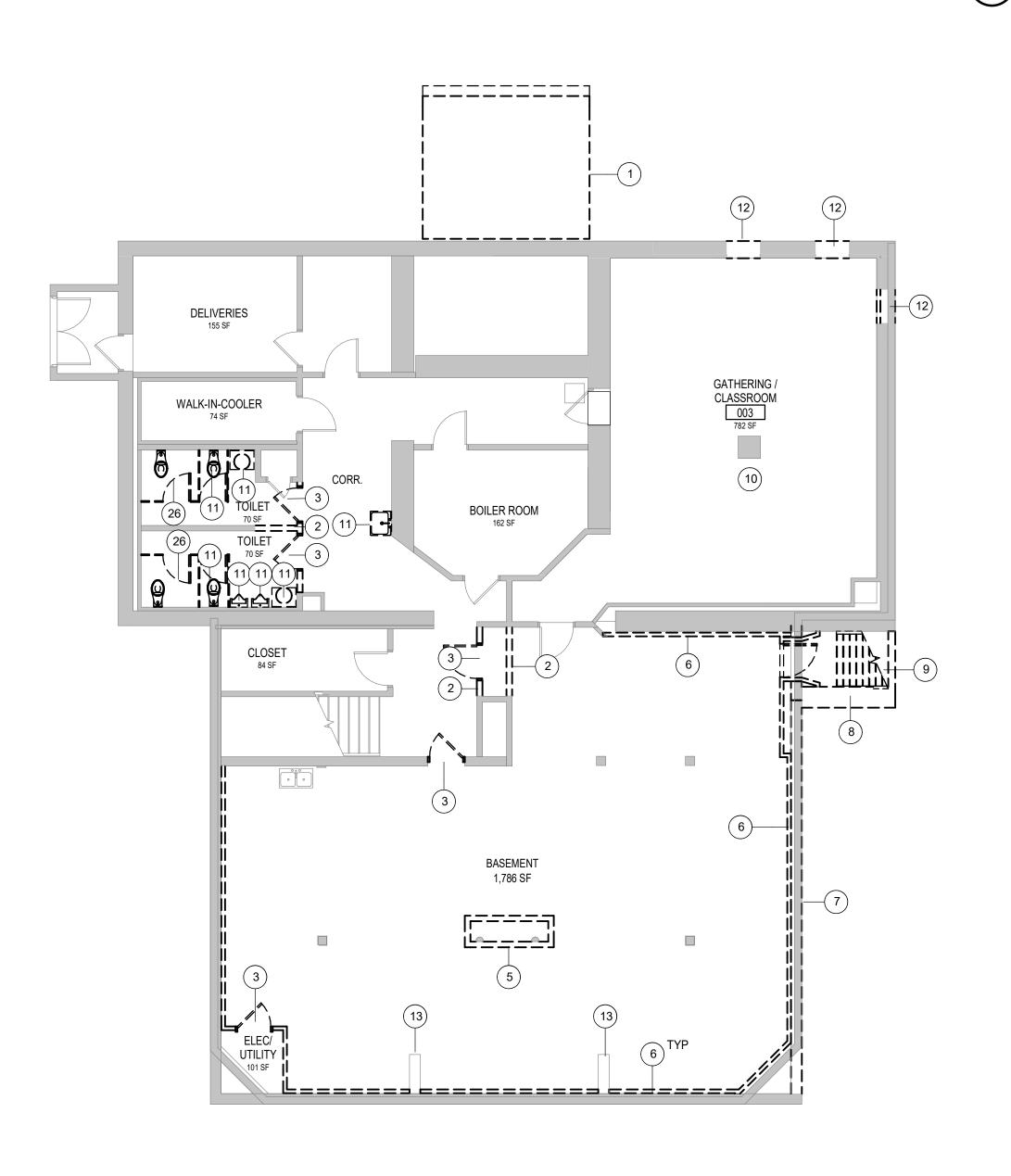
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BASEMENT DEMO PLAN

(A1)

DEMOLITION NOTES:

- COORDINATE EXTENT OF DEMOLITION WITH LOCATIONS OF PARTITIONS DESCRIBED ON PLANS AND WITH LOCATIONS OF FINISHES NOTED AS EXISTING TO
- . ANY WALL, PARTITION OR SURFACE DISTURBED BECAUSE OF NEW WORK OR DEMOLITION SHALL BE PATCHED AND FINISHED CONTINUOUSLY TO THE NEAREST CORNER UNLESS NOTED OTHERWISE, MATCH
- EXISTING ADJACENT CONSTRUCTION FINISHES, CONTINUITY AND FIRE RATINGS UNLESS NOTED OTHERWISE. B. PROTECT ALL FINISHES, MATERIALS AND EQUIPMENT
- NOTED AS EXISTING TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE ALL FINISHES, MATERIAL AND EQUIPMENT DAMAGED DURING CONSTRUCTION.
- . DIMENSIONS INDICATED WITH A ± ARE EXISTING CONDITION AND NEED TO BE VERIFIED IN FIELD. 5. CLEARLY INDENTIFY AND TAG MECHANICAL, PLUMBING
- AND ELECTRICAL FIXTURES OR EQUIPMENT THAT ARE STILL IN USE PRIOR TO DEMOLITION TO AVOID ACCIDENTAL REMOVAL. 6. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR THE SCOPE OF DEMOLITION IN THOSE

DEMOLITION KEYNOTES

Key Value Keynote Text

DISCIPLINES.

- REMOVE EXISTING PORCH AND CONCRETE BASE, POSTS AND ROOF IN ITS ENTIRETY. REMOVE PORTION OF WALL AS SHOWN. COORDINATE WITH NEW WORK PLANS.
- REMOVE DOOR LEAF AND FRAME COMPLETELY. PREPARE OPENING FOR NEW DOOR. COORDINATE WITH NEW WORK.
- EXISTING RANGE TO REMAIN. REMOVE ENCLOSURE, REPORT ANY BARRIERS TO ARCHITECT IF FOUND.
- REMOVE REMAINING INTERIOR PANEL FINISH WALLS TO FACE OF FOUNDATION WALLS,
- REMOVE DAMAGED PORTIONS OF EXISTING MASONRY WALL IN SECTIONS. COORDINATE
- WITH STRUCTURAL. REMOVE CONCRETE FOUNDATION WALL AND FOOTINGS.
- REMOVE STAIR. REMOVE PANELING IN THIS ROOM. REPORT ANY DEFICIENCIES IN EXISTING FOUNDATION WALLS TO OWNER AND ARCHITECT. REMOVE PLUMBING FIXTURE, HARDWARE
- PLUMBING TO REMAIN IN WALL CAVITY TO ALLOW FOR SEAMLESS AND CONTINUOUS WALL FINISH. REMOVE INFILL FROM EXISTING OPENINGS IN BRICK FOUNDATION WALL. VERIFY OPENING

AND PLUMBING COMPLETELY. CAP EXISTING

- DIMENSIONS IN FIELD AND COORDINATE WITH NEW WORK. EXISTING CONCRETE BUTTRESS TO REMAIN.
- REMOVE EXISTING WALLS AND ROOF REMOVE DECORATIVE PANELING ALL WALLS. SALVAGE DOOR FOR RESUSE. COORDINATE STORAGE DURING CONSTRUCTION WITH
- REMOVE FLOOR FINISH AND ANY MEMBRANE LATER DOWN TO SUBFLOOR. SUBFLOOR TO REMAIN, REMOVE ANY REMAINING FASTENERS OR OBSTRUCTIONS TO PROVIDE
- SMOOTH SURFACE FOR NEW FINISH FLOOR. REMOVE PORTION OF EXISTING WALL NECESSARY FOR NEW OPENING. COORDINATE EXTENT OF REMOVAL WITH
- REMOVE FLOORING AND PREP FOR NEW. REMOVE EXISTING CABINETS, COUNTER AND DISCHWASHER THIS WALL. SAVE (2) SINKS FOR RESUSE.
- REMOVE EXISTING WALLS AND ROOF OF ENTRY SHED.
- REMOVE EXISTING DIRECT MOUNTED CEILING
- REMOVE EXISTING FANS AND A/C UNITS

NEW WORK PLANS.

- REMOVE EXISTING HEAT RADIATOR. REMOVE EXISTING VANITY AND (2) SINKS.
- REMOVE EXISTING TOILETS AND PARTITIONS. REMOVE SHEET FLOORING AND BASE,
- REMOVE LIGHTING AND DEVICES AT CEILING. PERPARE SURFACE FOR NEW FINISHES.
- REMOVE DOOR LEAF AND HARDWARE ONLY, FRAME TO REMAIN. REFER TO DOOR SCHEDULE FOR NEW DOOR LEAF.

0	PHASED FOR REBID	02-07-25		
REV	DESCRIPTION	DATE		
PHASED FOR REBID				

02-07-25

CURRENT ISSUE STATUS:



PROJECT NORTH:

SMRT Architects and Enginee 75 Washington Ave., Suite 3A Portland, Maine 04101 www.smrtinc.cor

WABANAKI PUBLIC HEALTH
WABANAKI WELLNESS RECOVERY HOME; FAMILY & FRIENDS CENTER

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PROJECT LOCATION

DEMOLITION PLANS AND ELEVATIONS

SHEET TITLE:

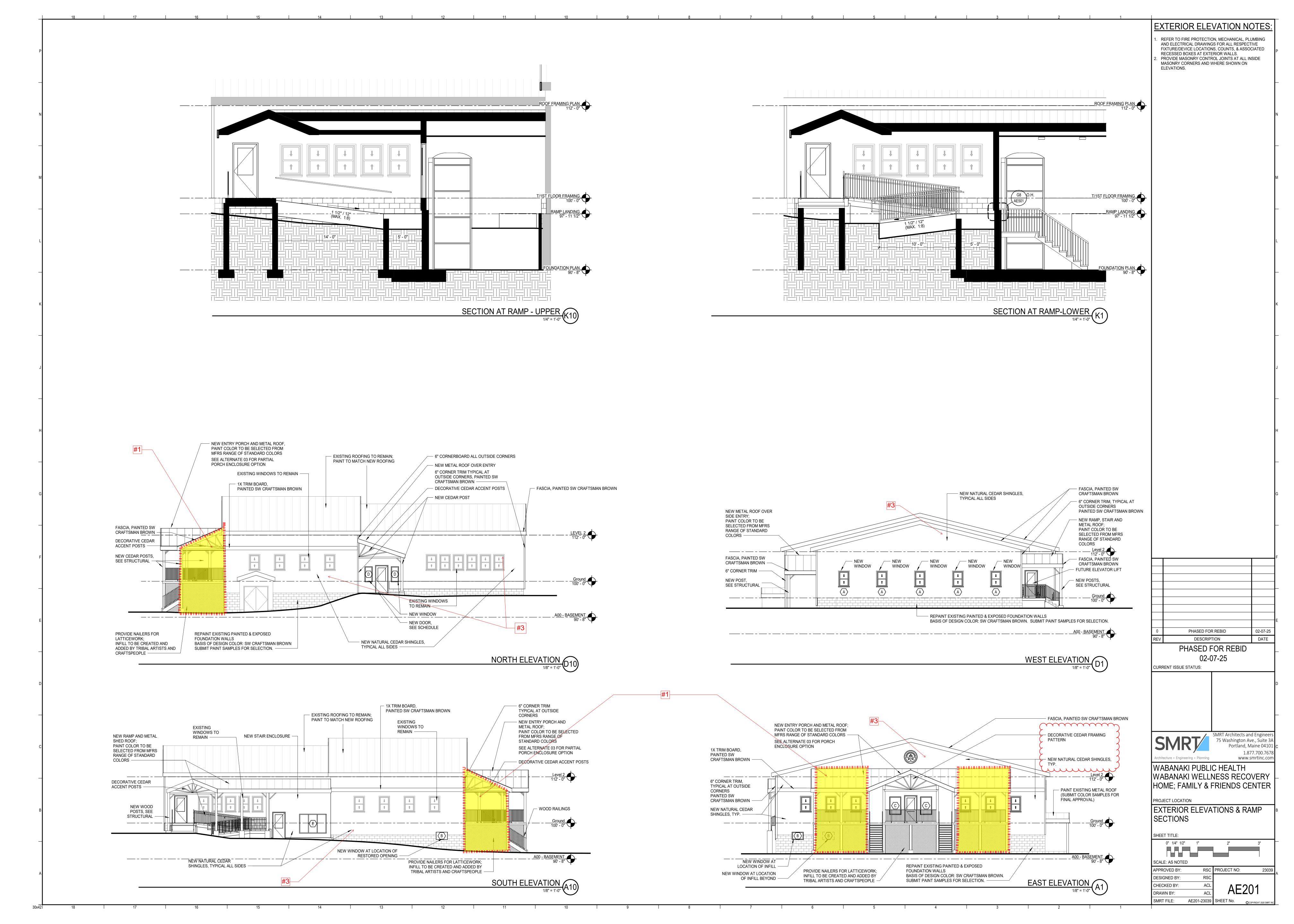
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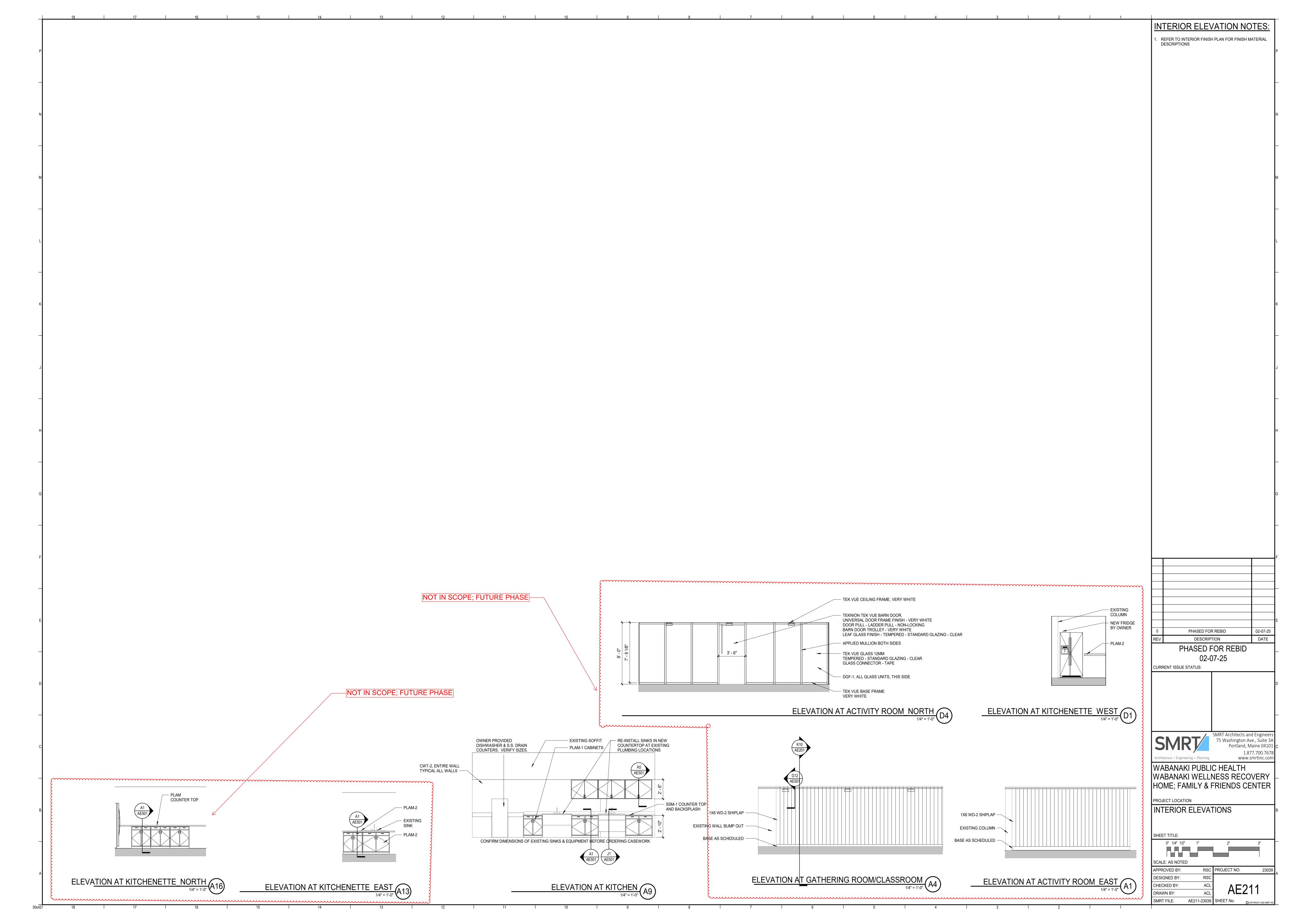
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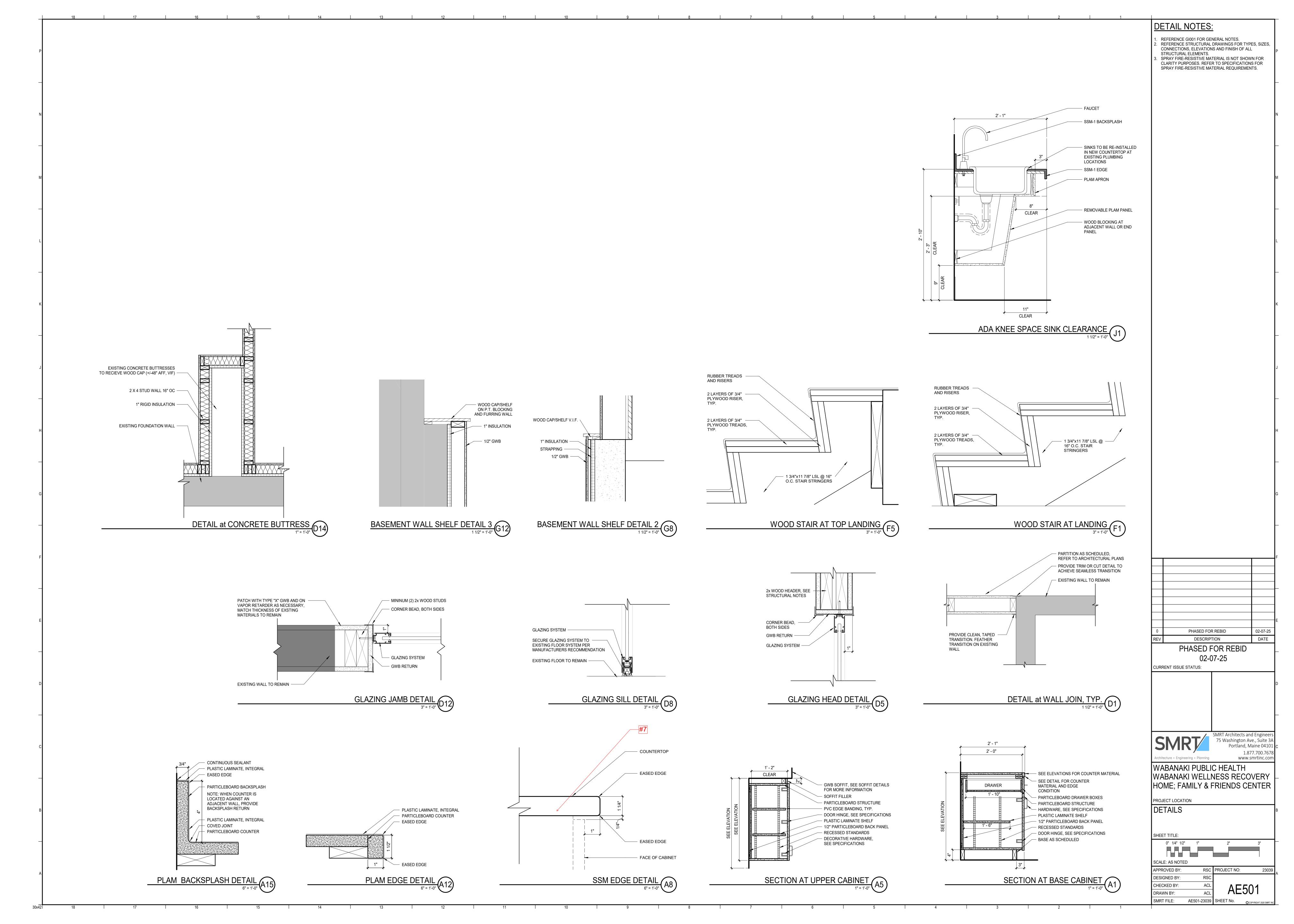
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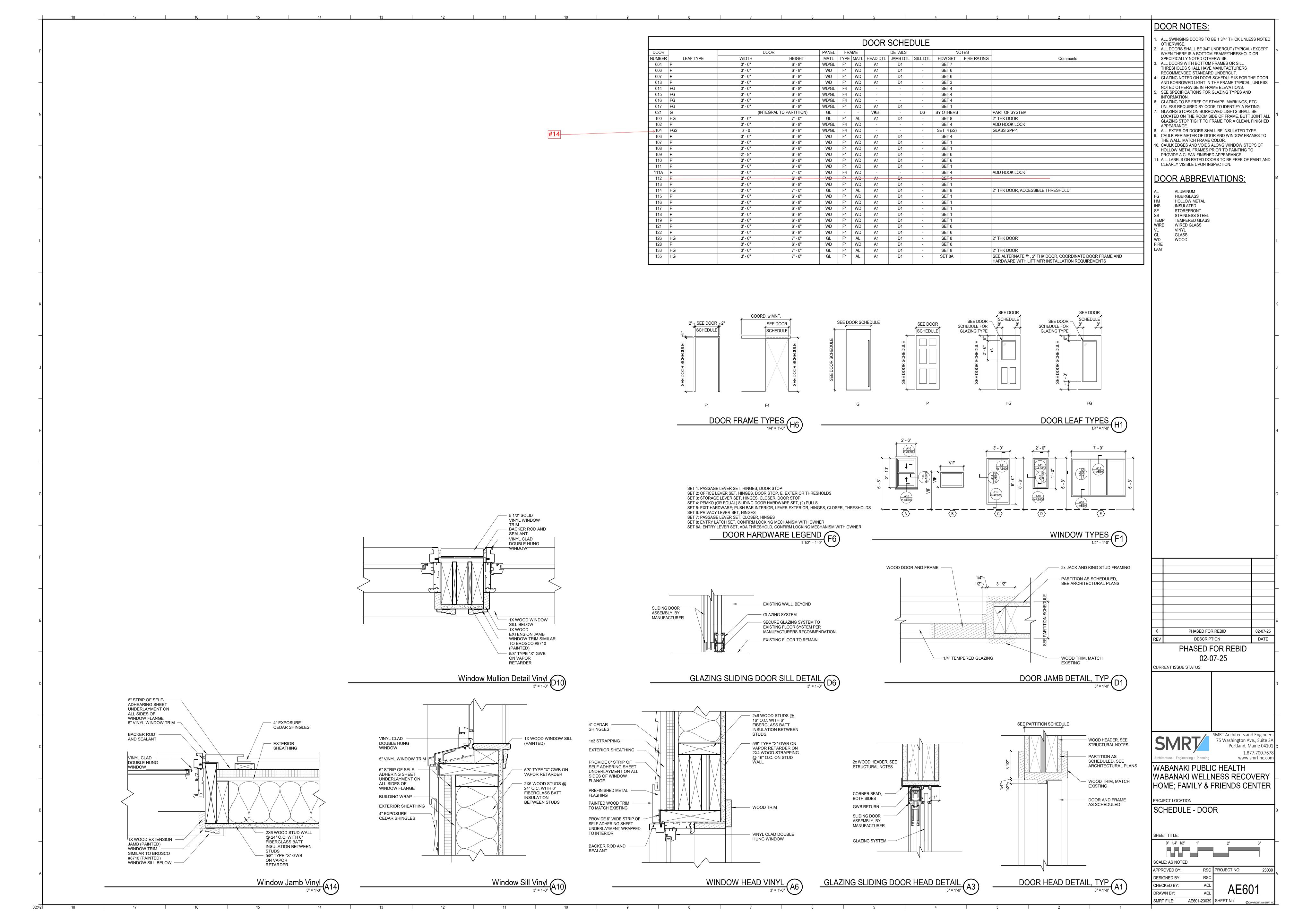


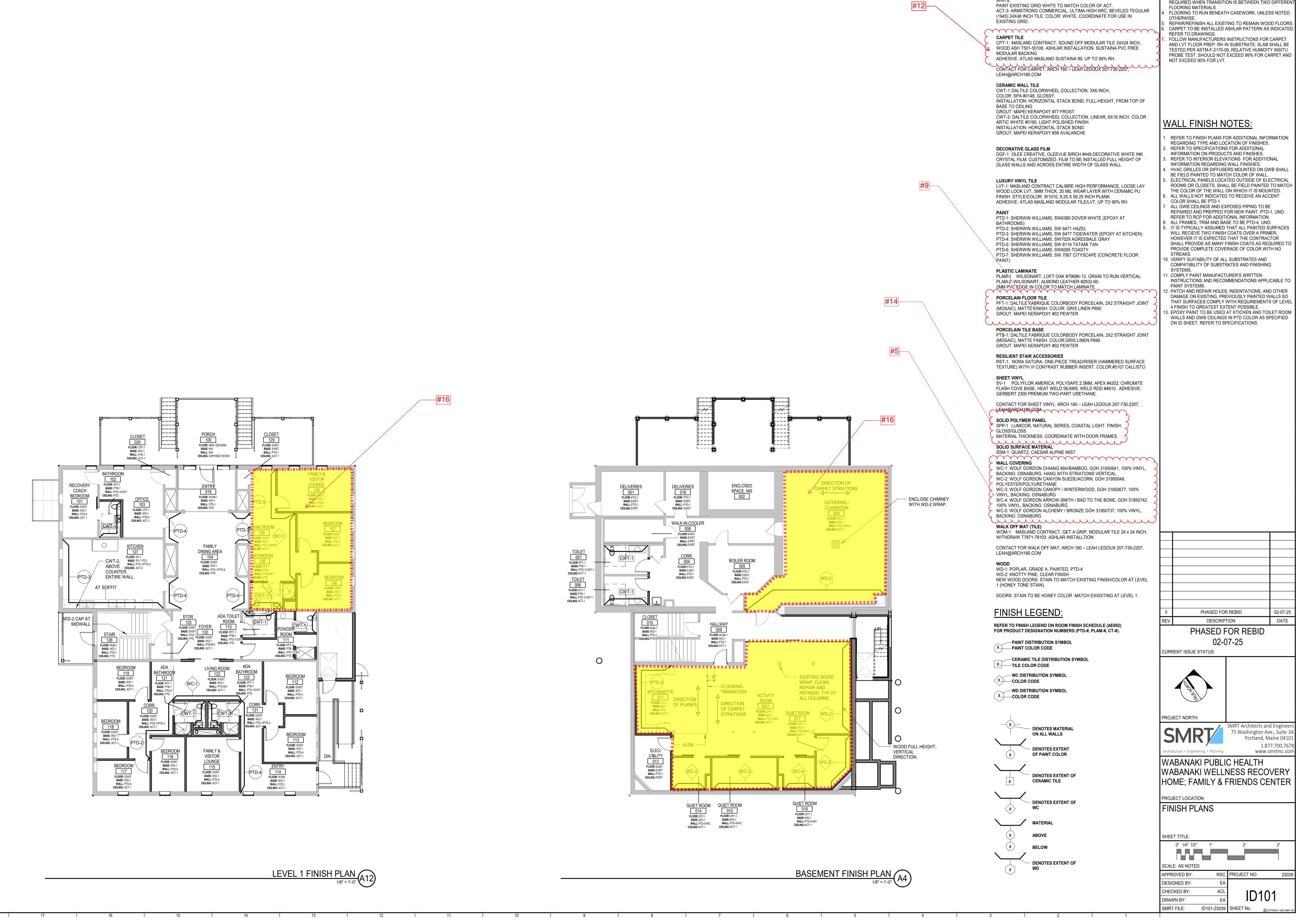












FLOOR FINISH NOTES:

FINISHES LEGEND:

ACT-1: ARMSTRONG COMMERCIAL, ULTIMA HIGH NRC 15/16-INCH

BEVELED TEGULAR (1941), 24X24 INCH TILE, COLOR: WHITE TILE WITH

ACT-2: COMMERCIAL, KITCHEN ZONE, SQUARE LAY-IN 24X48 INCH #672,

ACOUSTIC CEILNG TILE

WHITE GRID SYSTEM.

REFER TO THIS SHEET FOR LAYOUT OF FLOOR FINISH MATERIALS, REFER TO FINISH LEGEND ON FOR ACTUAL

MATERIALS USED. REFER TO WALL FINISH PLAN(S) FOR INFORMATION REGARDING LOCATIONS OF PAINTED ACCENT WALLS AND OTHER WALL APPLIED FINISHES.

PROVIDE ADA COMPLIANT RESILIENT TRANSITIONS AS REQUIRED WHEN TRANSITION IS BETWEEN TWO DIFFERENT FLOORING TO RUN BENEATH CASEWORK, UNLESS NOTED

REPAIR/REFINISH ALL EXISTING TO REMAIN WOOD FLOORS. AND LVT FLOOR PREP. RH IN SUBSTRATE: SLAB SHALL BE

REFER TO FINISH PLANS FOR ADDITIONAL INFORMATION

REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL HVAC GRILLES OR DIFFUSERS MOUNTED ON GWB SHALL

MECHANICAL GENERAL NOTES

- SEE SPECIFICATIONS FOR OTHER REQUIREMENTS.
- 2. ALL HVAC GENERAL NOTES. SYMBOLS LISTS & DETAILS ARE TO BE CONSIDERED AS APPLICABLE TO ALL HVAC DRAWINGS FOR THIS PROJECT.
- 3. THE MECHANICAL CONTRACTOR SHALL BE FAMILIAR WITH ALL CONTRACT DOCUMENTS FOR ALL TRADES AND COORDINATE WITH OTHER CONTRACTORS.
- 4. FINAL PRODUCT SHALL BE A COMPLETE AND FUNCTIONING SYSTEM, AND SHALL CONFORM TO ALL REQUIREMENTS OF APPLICABLE FEDERAL, STATE, AND LOCAL CODES, INCLUDING BUT NOT LIMITED TO THE INTERNATIONAL BUILDING CODE AND INTERNATIONAL MECHANICAL CODE.
- 5. THE MECHANICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL INCIDENTAL ACCESSORIES NECESSARY TO MAKE THE HVAC WORK COMPLETE AND READY FOR OPERATION.
- 6. ALL MATERIALS AND EQUIPMENT UNLESS SPECIFICALLY INDICATED AS REUSED, SHALL BE NEW.
- 7. THE MECHANICAL CONTRACTOR SHALL FIELD MEASURE EXACT SIZES AND VERIFY ALL OPENINGS FOR SHAFTS AND LOUVERS PRIOR TO SUBMISSION OF SHOP DRAWINGS AND INSTALLATION.
- 8. AT THE END OF EACH WORKING DAY THE CONSTRUCTION SITE SHALL BE LEFT IN A CLEAN AND NEAT CONDITION.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HANDLING, STORAGE AND SETTING OF ALL EQUIPMENT AND MATERIAL. CRANES, LIFTS, HOSTS, AND SCAFFOLDING OF ALL EQUIPMENT SHALL BE EMPLOYED AS REQUIRED TO COMPLETE THE
- 10. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL THE CONDITIONS BOTH EXISTING AND THOSE ILLUSTRATED BY THESE DOCUMENTS AS WELL AS THOSE WHICH CAN BE REASONABLY ANTICIPATED INCLUDING, BUT NOT LIMITED TO ARCHITECTURAL, ELECTRICAL, STRUCTURAL, PLUMBING, AND OTHER SYSTEMS INVOLVED ON THIS PROJECT.
- 11. THIS PROJECT INVOLVES CONSTRUCTION INSIDE AN EXISTING STRUCTURE. CONTRACTORS, BY SUBMITTING A BID, ARE DEEMED TO BE COMPLETELY FAMILIAR WITH THE EXISTING CONDITION OF THE BUILDING AS IT INFLUENCES THE WORK DESCRIBED. ABSOLUTELY NO CLAIMS FOR EXTRA COMPENSATION WILL BE CONSIDERED FOR EXISTING CONDITIONS VISIBLE OR REASONABLY INFERABLE FROM A CAREFUL EXAMINATION OF THE EXISTING BUILDING.
- 12. THIS CONTRACTOR SHALL INSPECT THE EXISTING FIELD CONDITIONS AT THE SITE AND THE "AS-BUILT" BASE BUILDING CONTRACT DOCUMENTS PRIOR TO THE START OF ANY WORK TO DETERMINE WHAT EFFECT THE EXISTING CONDITIONS WILL HAVE ON HIS WORK. POTENTIAL PROBLEM AREAS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER IMMEDIATELY.
- 13. LOCATE DUCTWORK, PIPING AND MECHANICAL EQUIPMENT AWAY FROM THE SPACE ABOVE ELECTRICAL PANELS, TRANSFORMERS AND OTHER ELECTRICAL EQUIPMENT.
- 14. FIRE SEAL AROUND DUCT AND PIPING PENETRATIONS OF FIRE RATE WALLS. REFER TO SPECIFICATIONS.
- 15. PROVIDE SLEEVES AND/OR OPENINGS TO RUN PIPES AND DUCTS THROUGH FOUNDATIONS, FLOORS, WALLS AND ROOF AND SEAL WEATHER/WATER TIGHT.
- 16. INSTALL EXPOSED PIPING AND DUCTWORK AS HIGH AS PRACTICAL IN ROOMS WITHOUT CEILINGS.
- 17. DUCTWORK SHALL NOT RUN ALONG FULL HEIGHT PARTITIONS.
- 18. ALL DUCTWORK SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF SMACNA STANDARDS.
- 19. PIPING AND DUCTWORK SHALL BE CONCEALED UNLESS OTHERWISE NOTED.
- 20. ACCESS PANELS SHALL BE PROVIDED TO ALLOW FOR CLEANING OF COILS AND SERVICING OF DAMPERS, HEATERS, VALVES, AND ALL CONCEALED MECHANICAL EQUIPMENT.
- 21. REFER TO PLUMBING DRAWINGS FOR GAS AND CONDENSATE DRAIN PIPING.
- 22. MAINTAIN ALL MANUFACTURER REQUIRED CLEARANCES FOR ACCESS AND SERVICE.
- 3. PROVIDE A 4" HOUSEKEEPING PAD FOR EACH PIECE OF FLOOR MOUNTED MECHANICAL EQUIPMENT. COORDINATE SIZES WITH MECHANICAL EQUIPMENT SELECTED.
- 24. ALL ROOF MOUNTED EQUIPMENT SHALL BE A MINIMUM 10'-0" FROM EDGE TO ROOF
- 25. THE AUTOMATIC TEMPERATURE CONTROL (ATC) CONTRACTOR SHALL COORDINATE THERMOSTAT LOCATIONS WITH ARCHITECTURAL FURNITURE PLANS/EQUIPMENT LAYOUT. THERMOSTATS SHALL BE INSTALLED 54" ABOVE FINISHED FLOOR
- 26. THIS CONTRACTOR SHALL CONNECT HIS WORK TO VARIOUS EXISTING PIPING, DUCTWORK, AND CONTROL SYSTEMS IN THE BASE BUILDING. THE NEW WORK SHALL BE COMPATIBLE WITH THE EXISTING SYSTEMS. LOCATION OF EQUIPMENT OR THE ROUTING OF THE VARIOUS SYSTEMS AS WELL AS OPENINGS IN FLOOR SLABS OR WALLS SHALL BE GOVERNED BY THE EXISTING CONDITIONS AS THEY APPEAR IN THE FIELD OR ON THE "AS-BUILT" DRAWINGS.
- 27. CARE SHALL BE TAKEN DURING THE INSTALLATION TO NOT DAMAGE OR INTERRUPT BUILDING SYSTEMS AND SERVICES THAT ARE ALREADY INSTALLED. DAMAGE TO SUCH SYSTEMS OR EQUIPMENT CAUSED BY THIS CONTRACTOR DURING INSTALLATION SHALL BE REPAIRED AND/OR REPLACED AT THIS CONTRACTOR'S EXPENSE TO THE COMPLETE SATISFACTION OF THE BUILDING OWNER.
- 28. SHUTDOWN OF EXISTING SYSTEMS FOR CONNECTION TO EXISTING SERVICES SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER OR GENERAL CONTRACTOR AND BUILDING OWNER. THIS CONTRACTOR SHALL SUBMIT REQUESTS, WHERE THEY AFFECT THE OPERATION OF THE BUILDING SYSTEMS, AT LEAST ONE WEEK IN ADVANCE OF ANY REQUIRED SHUTDOWN. THE ACTUAL SHUTDOWN PERIOD SHALL BE AS SHORT AS POSSIBLE AND AT A TIME MUTUALLY AGREEABLE TO THE BUILDING OWNER AND THE CONSTRUCTION MANAGER/GENERAL CONTRACTOR.
- 29. THE MECHANICAL CONTRACTOR SHALL COORDINATE ANY PREMIUM WORK REQUIRED FOR THE PROJECT WITH THE GENERAL CONTRACTOR.
- 30. IF REQUIRED THE PROJECT SHALL BE PHASED IN ACCORDANCE WITH THE APPROVED PHASING PLAN. THE CONTRACTOR SHALL OBTAIN APPROVAL FOR THE SEQUENCING AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. SEE
- 31. CONTRACTOR SHALL PROVIDE THE FOLLOWING SERVICES, AS APPLICABLE, ON ALL EXISTING HVAC EQUIPMENT INDICATED TO BE REUSED: 1) FILTER CHANGES, 2) BALANCING, 3) LUBRICATION. CONTRACTOR SHALL REPORT ANY EQUIPMENT DEFICIENCIES FOUND TO THE ARCHITECT AND/OR ENGINEER.
- 32. THE FIRE PROOFING OF THE BUILDING STRUCTURE IS NOT TO BE REMOVED FOR THE INSTALLATION OF HANGERS, SUPPORTS, DUCTWORK, ETC. IF FIRE PROOFING IS DAMAGED, IT SHALL BE REPAIRED AT THE EXPENSE OF THE TRADE.
- 33. CONTRACTOR SHALL PROVIDE AND SUBMIT DOCUMENTATION FOR TESTING AND BALANCING OF ALL AIR AND WATER SYSTEMS, DUCT AND PIPING PRESSURE AND LEAKAGE TESTS, OPERATING AND MAINTENANCE MANUALS, AND AS-BUILT DRAWINGS. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS. PERFORM ALL PRESSURE AND LEAKAGE TESTS PRIOR
- 34. MANY EQUIPMENT SCHEDULES DO NOT LIST QUANTITIES. CONTRACTOR SHALL REFER TO ALL DRAWINGS AND PROVIDE THE REQUIRED QUANTITIES OF ALL COMPONENTS.
- 35. INSTALL SMOKE DETECTORS IN DUCT SYSTEMS IN ACCORDANCE WITH NFPA.
- 36. FIRE DAMPERS AND ACCESS PANELS SHALL BE INSTALLED AT ALL 2-HOUR RATED PARTITIONS AND FLOOR PENETRATIONS. IN ADDITION COMBINATION FIRE/SMOKE DAMPERS AND ACCESS PANELS SHALL BE INSTALLED AT PENETRATIONS OF ALL RATED SHAFT ENCLOSURES CONNECTING THREE STORIES OR MORE. REFER TO ARCHITECTURAL DRAWINGS FOR PARTION LOCATIONS.
- 37. TRANSFER DUCTS IN RATED PARTITIONS SHALL BE INSTALLED WITH FIRE DAMPERS.

WALLS, FLOORS AND ROOFS.

- 38. THE MECHANICAL CONTRACTOR SHALL FURNISH TO THE GENERAL CONTRACTOR ALL INFORMATION REQUIRED FOR SETTING OF WALL, ROOF, AND PARTITION OPENINGS FOR HVAC WORK. THIS INFORMATION SHALL BE FURNISHED IN A TIMELY MANNER SUCH THAT CONSTRUCTION SCHEDULE IS NOT JEOPARDIZED.
- 39. ALL WORK SHALL BE PERFORMED AS PER LANDLORD STANDARDS. THE HEATING, VENTILATION, AND AIR CONDITIONING CONTRACTOR SHALL COMPLY WITH ALL LANDLORD STANDARDS AND REQUIREMENTS.
- 40. EXISTING FIBEROUS DUCT LINERS WHICH ARE CUT DURING RENOVATION SHALL BE RE-SEALED SO THAT NO FIBEROUS
- LINER MEDIA IS EXPOSED TO THE AIRSTREAM. 41. MOST PARTITIONS ARE FULL HEIGHT AND REQUIRE UTILITIES PENETRATIONS TO BE SEALED. SEE ARCHITECTURAL DRAWINGS FOR PARTITION HEIGHTS. UTILITIES SHOWN FOR CLARITY THAT MAY RUN PARALLEL TO WALL PARTITIONS WILL REQUIRE LOCATING IN THE FIELD TO MINIMIZE CONFLICT WITH PARTITIONS.
- 42. INFILL ALL NEW OR EXISTING ABANDONED FLOOR SLAB PENETRATIONS WITH GROUT, FULL THICKNESS OF SLAB. MAINTAIN
- 43. FILL AND PATCH ALL OPENINGS IN WALLS WHERE CONDUITS, PIPES, DUCTS ETC. ARE OR HAVE BEEN REMOVED WITH UL LISTED FIRE ASSEMBLY APPROVED BY THE ARCHITECT. MAINTAIN 2-HR FIRE RATING WHERE APPLICABLE.
- 44. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING NEEDS FOR PASSAGE OF PIPING THROUGH SOLID CONCRETE
- 45. EXISTING ROOM THERMOSTATS AND SENSORS SHALL BE PROTECTED DURING CONSTRUCTION AND RELOCATED AS
- 46. THE MECHANICAL CONTRACTOR SHALL VISIT THE SITE TO DETERMINE ALL PRE-EXISTING CONDITIONS AND WORK NECESSARY PRIOR TO SUBMISSION OF BID PRICE.

MECHANICAL DEMOLITION NOTES

- REFER TO THE ARCHITECTURAL DRAWINGS FOR THE EXTENT OF THE DEMOLITION SCOPE OF WORK AND AREA. THE DEMOLITION PLANS INDICATE THE GENERAL INTENT AND ARE NOT INTENDED TO SHALL ALL ITEMS TO BE REMOVED OR
- 2. VISIT THE SITE PRIOR TO SUBMISSION OF THE BIDS TO BECOME FAMILIAR WITH THE ACTUAL CONDITIONS AND EXTENT OF
- 3. TRACE AND LABEL ALL EXISTING SYSTEMS WITHIN THE DEMOLITION AREA AND BEYOND PRIOR TO DISCONNECTION AND REMOVAL TO ENSURE THAT NO AREA OUTSIDE THE DEMOLITION AREA IS AFFECTED. REVIEW IN DETAIL WITH THE GENERAL CONTRACTOR AND OWNER WHAT IS TO BE REMOVED AND REMAIN PRIOR TO WORK COMMENCING. THERE SHALL BE NO INTERRUPTION OF SERVICES OUTSIDE THE DEMOLITION AREA WITHOUT APPROVAL FROM THE OWNERS REPRESENTATIVE.
- 4. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY UNANTICIPATED HIDDEN CONDITIONS ENCOUNTERED DURING THE DEMOLITION.
- 5. ALL ITEMS REMOVED SHALL BE OFFERED TO THE OWNER FOR SALVAGE. IF THE OWNER DOES NOT TAKE POSSESSION, DISPOSE OF ITEMS IN A SAFE AND LEGAL MANNER. ALL ITEMS CLASSIFIED AS HAZARDOUS SHALL BE DISPOSED AS HAZARDOUS WASTES AND A UNIFORM HAZARDOUS WASTE MANIFEST SHALL BE PROVIDED TO THE OWNER.
- 6. NOTIFY UTILITY COMPANIES IN ACCORDANCE WITH THEIR REQUIREMENTS PRIOR TO DEMOLITION VERIFY THAT THE UTILITIES HAVE BEEN DISCONNECTED, VALVED, CAPPED AND MADE SAFE PRIOR TO DEMOLITION.
- 7. ENSURE THE SAFE PASSAGE OF PERSONS IN AND AROUND THE BUILDING DURING DEMOLITION. PREVENT INJURY TO PERSONS AND DAMAGE TO PROPERTY. PROVIDE ADEQUATE SHORING AND BRACING TO PREVENT COLLAPSE. IMMEDIATELY REPAIR DAMAGED PROPERTY TO THE CONDITION BEFORE BEING DAMAGED. TAKE EFFECTIVE MEASURES TO PREVENT WINDBLOWN DUST.
- 8. DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS AT CONCEALED SPACES, SUCH AS PIPE INTERIORS OR SHAFTS. VERIFY CONDITION AND CONTENTS OF HIDDEN SPACE BEFORE STARTING FLAME CUTTING OPERATIONS. MAINTAIN FIRE WATCH AND PORTABLE FIRE-SUPPRESSION DEVICES DURING FLAME CUTTING OPERATIONS. MAINTAIN ADEQUATE VENTILATION WHEN USING CUTTING TORCHES.
- 9. DRAIN. PURGE. OR OTHERWISE REMOVE, COLLECT AND DISPOSE OF CHEMICALS, LIQUIDS, GASES, EXPLOSIVES, ACIDS, FLAMMABLES OR OTHER DANGEROUS MATERIALS BEFORE PROCEEDING.
- 10. PROPERLY LABEL ALL UNLABELED PIPES THAT REMAIN WITH COLOR PIPE MARKERS.
- 11. ALL DEMOLITION SCOPE ASSOCIATED WITH LOW VOLTAGE WIRING FOR CONTROLS AND ASSOCIATED INTERLOCKS SHALL
- 12. ALL EQUIPMENT LOCATIONS AND PIPE AND DUCTWORK SIZES INDICATED ARE APPROXIMATE. VERIFY EXACT LOCATIONS
- 13. REFER TO THE MECHANICAL DRAWINGS FOR THE FULL EXTENT OF THE SCOPE OF DEMOLITION. DISCONNECT AND MAKE SAFE ALL MECHANICAL EQUIPMENT IDENTIFIED FOR REMOVAL ON THE MECHANICAL DEMOLITION PLANS. THE MECHANICAL SCOPE MAY EXTEND BEYOND THE AREA DEFINED BY THESE WORK SCOPE LIMITS TO FULLY COMPLY WITH THE VARIOUS REQUIREMENTS DEIFNED BY THESE NOTES.
- 14. THE HVAC DEMOLITION PLANS INDICATE GENERAL INTENT AND ARE NOT INTENDED TO SHOW ALL COMPONENTS AND ITEMS TO BE REMOVED OR RETAINED. THE HVAC, ATC, & TAB CONTRACTORS SHALL VISIT THE SITE PRIOR TO SUBMISSION OF THEIR BIDS TO BECOME FAMILIAR WITH THE ACTUAL WORKING CONDITIONS AND THE EXTENT OF WORK. EQUIPMENT AND CONTROLS DESIGNATED TO BE REMOVED SHALL BE DISCONNECTED AND MADE SAFE. THE HVAC, ATC, & TAB CONTRACTORS SHALL IMMEDIATELY NOTIFY THE GENERAL CONTRACTOR AND THE OWNERS REPRESENTATIVE OF ANY UNANTICIAPTED OR HIDDEN CONDITIONS ENCOUNTERED DURING DEMOLITION.
- 15. THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ALL SYSTEMS OR BUILDING COMPONENTS DAMGED BY HIM AS A RESULT OF CONSTRUCTION DURING THE EXECUTION OF THE WORK. DAMAGE SHALL INCLUDE, BUT NOT BE LIMITED TO, THE DESTRUCTION OR DISPOSAL OF ITEMS INTENDED TO REMAIN OR BE SALVAGED.
- 16. THE MECHANICAL CONTRACTOR SHALL SYSTEM TRACE AND LABEL ALL EXISTING BRANCH SUSTEMS AND MAINS WITHIN OR ASSOCIATED WITH THE DEMOLITION SCOPE. PRIOR TO DEMOLITION AND DISCONNECTION. ALL SYSTEMS IDENTIFIED FOR REMOVAL SHALL BE TRACED AND FIELD LABELED TO ENSURE THAT NO AREA OUTSIDE THE DEMOLITION SCOPE LIMIT IS
- 17. IN ANY AREA REQUIRING THE PERFORMANCE OF ANY OTHER TRADE'S WORK, THE MECHANICAL CONTRACTOR SHALL CAREFULLY REMOVE AND STORE ANY OR ALL MECHANICAL ITEMS IN PATH OF WORK, REINSTALLING AND RECONNECTING SAME AS REQUIRED, IN ACCORDANCE WITH THE PLANS AND OR AS DIRECTED AFTER COMPLETION OF OTHER TRADES WORK IN THAT AREA.
- 18. THE MECHANICAL CONTRACTOR SHALL IDENTIFY ALL BRANCH SYSTEM COMPONENTS WHICH ARE TO REMAIN WITHIN THE AREA OF DEMOLITION SCOPE. THERE SHALL BE NO INTERRUPTION OF SERVICE TO ANY AREA OUTSIDE THE SCOPE LIMITS WITHOUT WRITTEN APPROVAL FROM THE OWNER'S REPRESENTATIVE. EXISTING EQUIPMENT TO REMAIN SHALL BE LEFT IN
- 19. THE MECHANICAL CONTRACTOR SHALL TAKE INVENTORY OF MECHANICAL ITEMS THAT ARE REMOVED AND PROVIDE A LIST TO THE OWNER'S REPRESENTATIVE FOR HIS SELECTION OF ITEMS TO BE RETAINED. ALL ITEMS REJECTED BY THE REPRESENTATIVE SHALL BECOME THE PROPERTY OF THE MECHANICAL CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
- 20. THE MECHANICAL CONTRACTOR SHALL TEMPORARILY SUPPORT ALL ITEMS TO REMAIN THAT ARE AFFECTED BY THE DEMOLITION OF BUILDING STRUCTURAL COMPONENTS (WALLS, CEILINGS, PARTITIONS, ECT). CONTRACTOR SHALL TEMPORARILY SUPPORT ITEMS AND SHALL PROVIDE PERMANENT SUPPORTS WHEN FINALIZED STRUCTURES ARE IN PLACE.
- 21. ALL EXISTING MECHANICAL EQUIPMENT THAT IS TO BE RELOCATED SHALL BE STORED IN A SAFE MANNER UNTIL SUCH TIME AS TO BE REINSTALLED. ANY DAMAGE INCURRED TO EQUIPMENT SHALL BE RECTIFIED BY THE MECHANICAL CONTRACTOR.
- 22. ALL REMOVED ITEMS SHALL BE LEGALLY DISPOSED OF BY THE MECHANICAL CONTRACTOR UNLESS IDENTIFIED FOR REUSE. THE OWNER'S REPRESENTATIVE SHALL INSPECT ALL RETAINED ITEMS, PRIOR TO PLACEMENT IN THE IDENTIFIED STORAGE LOCATION BY THE MECHANICAL CONTRACTOR.
- 23. MECHANICAL CONTRACTOR WORK SCOPE SHALL INCLUDE AND NOT BE LIMITED TO THE FOLLOWING ADDITIONAL ITEMS AS PER ALL LANDLORD STANDARDS AND PROCEDURES AND WITH PRIOR APPROCAL FROM THE OWNER'S REPRESENTATIVE. a. AFTER INSTALLATION OF NEW WORK, PROVIDE TESTING OF ALL SYSTEMS IN ACCORDANCE TO THE SPECIFICATIONS. b. CUTTING, CAPPING, & REMOVAL OF EXISTING DUCTWORK AND INSULATION SYSTEMS. c. PROTECT ALL EXISTING EQUIPMENT FROM DAMAGE IN AND AROUND EACH INDIVIDUAL WORK SITE
- 24. THE GENERAL CONTRACTOR AND THE MECHANICAL CONTRACTOR WILL PROVIDE ALL NECESSARY EQUIPMENT TO PERFORM THE DEMOLITION AND NEW WORK SCOPE.
- 25. PROVIDE ALL THE NECESSARY EQUIPMENT, MANPOWER, TOOLS, MISELLANEOUS SUPPORTS, MISCELLANEOUS EQUIPMENT AND SUPPLIES TO PROPERLY EXECUTE THE DEMOLITION AND NEW WORK.
- 26. PROVIDE ALL PERMITS AND COMPLY WITH ALL OASHA SAFETY REGULATIONS. TAKE DUE DILLIGENCE IN THE PROTECTION OF ALL WORK PERSONNEL AND THE GENERAL POPULATION IN AND AROUND THE WORK SITE. PROVIDE ISOLATION BARRIERS BETWEEN ACTIVE WORK AREAS AND DEMOLITION ZONES. KEEP THE WORK SITE CLEAN, SAFE, AND SECURE THROUGHOUT ALL PHASES OF THE WORK ORDER.
- 27. PROVIDE ALL NECESSARY NEW DAMPERS, DUCT FLANGES & END CAPS, DUCT SUPPORTS & MISCELLANEOUS STEEL REQUIRED TO ISOLATE EXISTING DUCT SYSTEMS TO REMAIN WHEN OTHER SYSTEMS ARE REMOVED AND WHEN DEEMED
- 28. NOTIFY "THE OWNER'S" PROJECT MANAGER THROUGH THE GENERAL CONTRACTOR ONE WEEK IN ADVANCE OF ANY INTENDED SHUTDOWNS OF EXISTING SYSTEMS OF ANY SORT. NOTIFY "THE OWNER'S" PROJECT MANAGER THROUGH THE GENERAL CONTRACTOR TWO WEEKS IN ADVANCE OF REQUIRED ACCESS TO ADJACENT SPACES WHERE WORK IS TO BE PERFORMED. "THE OWNER'S" PROJECT MANAGER WILL CONFIRM WITH THE "USERS GROUP" THE TIME AND DURATION OF THE REQUIRED SHUT DOWN AND ACCESS REQUIREMENTS AND INFORM THE CONTRACTOR IN WRITING OF THE APPROVAL
- 29. ALL FPBS, VAVS, EFS, AHUS, EQUIPMENT WITHIN THE SCOPE OF WORK SHALL BE INSPECTED, TESTED, CLEANED, AND REPAIRED TO GOOD WORKING CONDITION. PROVIDE ALL REQUIRED MOTORS, BELTS, SHEAVES, FLEXIBLE DUCT CONNECTIONS, SUPPORTS, THERMOSTATS, CONTROLS, WIRING, VALVES, PIPE, INSULATION, DRAINAGE AND DUCTS NEEDED TO BRING THE SYSTEM INTO GOOD OPERATING CONDITION. REPLACE ALL DAMAGED OR NON-FUNCTIONING EQUIPMENT WITH NEW LIKE-KIND COMPONENTES.
- 30. ALL EXISTING DUCTWORK TO REMAIN SHALL BE PROTECTED BY CONTRUCTION FILTERS DURING CONSTRUCTING. 31. REMOVE ALL UNUSED PIPING, DUCTWORK AND ACCESSORIES.
- 32. THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING, PRIOR TO FINAL BID, ALL EXISTING CONDITIONS FOR PLUMBING AND MECHANICAL SYSTEMS WITH IN THE SCOPE OF WORK AREA AND WITHIN CLOSE

PROXIMITY OF THE SCOPE OF WORK AREA.

- 33. THE MECHANICAL CONTRACTOR SHALL PERFORM SERVICE AND REPAIR ON THE EXISTING EQUIPMENT AND ITS ACCESSORIES AS FOLLOWS: CLEAN ALL COILS, REPLACE FILTERS AND BELTS, INSPECT, REPAIR, OR REPLACE THE ECONOMIZERS, DRIVES AND FAN BEARINGS, MOTORS, CONTROL COMPONENTS, VALVES AND ANY OTHER ITEM NECESSARY FOR A COMPLETE AND PROPER OPERATING SYSTEM. THIS CONTRACTOR SHALL ALSO VISIT THE SITE, PRIOR TO FINAL BIDDING, AND VERIFY ALL EXISTING SITE CONDITIONS. PROVIDE ALL MATERIAL AND COMPONENTS AS NEEDED TO BRING THE UNITS TO FULL COMPLIANCEOF THE LOCAL AUTHORITY HAVING JURISDICTION.
- 34. WHERE FLOOR DRAINS OCCUR WITHIN THE LIMITS OF CONSTRUCTION, PREVENT CONSTRUCTION DEBRIS FROM ENTERING DRAIN BODY BY SEALING DRAIN OPENING PRIOR TO START OF WORK.

MECHANICAL PERFORMANCE SPECIFICATIONS

- 1. PART 1 GENERAL PROVISIONS: DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF WORK IN
- 2. DESCRIPTION ON PROJECT: THE BUILDINGS MAIN HEAT SOURCE IS AN OIL FIRED BOILER IN THE BASMENT BOILER ROOM. FIN TUBE HEATING SHALL BE REPLACED THROUGHOUT THE BUILDING AND SERVES AS THE PRIMARY MEANS TO HEAT SPACE. A BID ALTERNATE SHALL BE PROVIDED TO INSTALL DUCTLESS MINISPLIT HEAT PUMP UNITS TO HEAT AND COOL ALL OCCUPIED SPACES. BASEBOARD WILL STILL BE REPLACED AS PART OF THIS OPTION BUT USED AS BACKUP HEATING. THE HEATING AND COOLING CAPACITIES WILL BE DETERMINED BASED ON 2017 ASHRAE FUNDAMENTALS HANDBOOKS CLIMATIC DESIGN CONDITIONS FOR THE AREA AND ADJUSTED BASED ON SMRT'S EXPERIENCE IN THE AREA. THE RECOMMENDED SUMMER DESIGN CONDITIONS WILL BE 87.7°F DB/ 70.5°F WB AND THE WINTER DESIGN CONDITIONS WILL BE -7.0°F. THE VENTILATION REQUIREMENT FOR BUILDING SHALL BE ACHIEVED THROUGH BATHROOM EXAUST FANS WHICH WILL BE INSTALLED AS PART OF THIS PROJECT.
- 3. SCOPE: PERFORM WORK AND PROVIDE NEW MATERIAL AND EQUIPMENT AS SHOWN ON DRAWINGS AND AS SPECIFIED IN THIS SECTION OF THE SPECIFICATIONS. PROVIDE ALL COMPONENTS AND MATERIALS, WHETHER SPECIFICALLY SHOWN OR NOT, THAT ARE NECESSARY TO MAKE THE SYSTEMS COMPLETE AND FULLY OPERATIONAL AS INTENDED IN THE CONSTRUCTION DOCUMENTS. WORK SHALL INCLUDE, BUT NOT BE LIMITED TO THE DESIGN INTENT AS ILLUSTRATED ON THESE DRAWINGS AND ALL TESTING AND CERTIFICATIONS NECESSARY FOR COMPLIANCE INCLUDING ANY REQUIRED REMEDIAL ACTIONS AND RETESTING DUE TO FAILURE.
- DESIGN BUILD CONTRACTOR IS RESPONSIBLE FOR PREPARING CONSTRUCTION DRAWINGS STAMPED BY A LICENSED ENGINEER IN THE STATE OF MAINE.
- B. BASEBOARD FIN TUBE AND ASSOCIATED PIPING SHALL BE REPLACED THROUGHOUT BUILDING BACK TO BOILER. OCCUPIED SPACES THROUGHOUT THE BUILDING SHALL HAVE DESIGN TEMPERATURE SETPOINTS OF 70°F HEATING a. BID ALTERNATE: BASEBOARD FIN TUBE THROUGHOUT BUILDING AND ASSOCIATED PIPING SHALL BE REPLACED BACK TO BOILER. IN ADDITION, MINISPLIT DUCTLESS HEAT PUMP UNITS SHALL BE INSTALLED TO PROVIDE HEATING AND COOLING. REPLACED FIN TUBE WILL ACT AS BACKUP HEAT SOUCE. OCCUPIED SPACES THROUGHOUT THE BUILDING SHALL HAVE DESIGN TEMPERATURE SETPOINTS OF 70°F HEATING AND 75°F COOLING MINISPLIT HEAT PUMPS SHALL BE CAPABLE OF HEATING OPERATION DOWN TO -20 DEG F AND SHALL BE
- POSITIVELY ANCHORED ON 24" HIGH SNOW STANDS REFRIGERANT PIPING AND CONDENSATE PIPING SHALL BE RUN CONCEALED IN WALLS OR BEHIND SOFFITS. , C., BATHROOM, EXHAUST, SYSTEMS SHALL-BEHNSTALLED, AND WILL, BE SIZED TO PROVIDE TEN AIR CHANGES PER HOUR. D.` EXISTING SMOKEATERS AND EXHASUT FAN SERVING THE BASMENT SPACE SHANL BE REMOVED IN THEIR ENTIRITY.
- E. EXISTING HOOD ABOVE STOVE IN KITCHEN SHALL BE REPLACED IN KIND. 4. ^ SITE VISIT: THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO ANY DEMOLITION OR NEW INSTALLATION. VISIT AND CAREFULLY EXAMINE SITE TO IDENTIFY EXISTING CONDITIONS THAT MAY AFFECT WORK OF THIS SECTION BEFORE SUBMITTING BID. NO EXTRA PAYMENT WILL BE ALLOWED FOR ADDITIONAL WORK CAUSED BY UNFAMILIARITY WITH SITE CONDITIONS THAT ARE VISIBLE OR READILY DISCERNED BY AN EXPERIENCED
- 5. RELATED WORK: THE FOLLOWING WORK IS NOT INCLUDED IN THIS SECTION AND WILL BE PROVIDED UNDER OTHER SECTIONS: 1) TEMPORARY HEAT FOR USE DURING CONSTRUCTION AND TESTING UNLESS SPECIFICALLY NOTED IN OTHER SPECIFICATION SECTIONS, 2) PAINTING, EXCEPT AS SPECIFIED, 3) ELECTRICAL POWER WIRING TO ALL EQUIPMENT OTHER THAN AUTOMATIC TEMPERATURE CONTROL PANELS AND COMPONENTS, AND 4) DUCT MOUNTED SMOKE DETECTORS SHALL BE FURNISHED BY OTHERS FOR MOUNTING AND WIRING TO THE ATC SYSTEM UNDER THIS SECTION.
- 6. CODES, STANDARDS, AUTHORITIES AND PERMITS: CODES, LAWS AND ORDINANCES PROVIDE A BASIS FOR THE MINIMUM INSTALLATION CRITERIA. THESE DRAWINGS AND SPECIFICATIONS ILLUSTRATE THE SCOPE REQUIRED FOR THIS PROJECT, WHICH MAY EXCEED MINIMUM CODE, LAW AND STANDARDS CRITERIA. GIVE NOTICES, FILE PLANS, OBTAIN PERMITS AND LICENSES. PAY FEES AND BACKCHARGES AND OBTAIN NECESSARY APPROVALS FROM AUTHORITIES HAVING JURISDICTION AS REQUIRED FOR THE EXECUTION OF ALL WORK ASSOCIATED WITH THIS PROJECT. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF:
- A. THE STATE BUILDING, ELECTRICAL, MECHANICAL, AND ENERGY CODES. B. SMACNA, NFPA, ANSI/ASHRAE, ASME, UL, AND NEMA STANDARDS.
- C. ALL OTHER APPLICABLE CODES, REGULATIONS, STANDARDS AND LAWS OF LOCAL, STATE AND FEDERAL GOVERNMENT AND OTHER AUTHORITIES HAVING JURISDICTION.
- D. APPLICABLE BASE BUILDING STANDARDS AND SPECIFICATIONS.
- E. ANY WORK DONE BY THE CONTRACTOR CAUSING VIOLATIONS OF THESE CODES. STANDARDS. AUTHORITIES OR PERMITS SHALL BE CORRECTED BY THE CONTRACTOR.
- 7. INTERPRETATIONS OF DOCUMENTS: DUCTWORK AND PIPING ARE SHOWN DIAGRAMMATICALLY AND DOES NOT SHOW ALL OFFSETS, DROPS, AND RISES OF RUNS. THE CONTRACTOR SHALL ALLOW IN HIS PRICE FOR ROUTING OF DUCTWORK AND PIPING TO AVOID OBSTRUCTIONS. EXACT LOCATIONS ARE SUBJECT TO THE APPROVAL OF THE ARCHITECT. COORDINATION WITH THE EXISTING SERVICES , INCLUDING THOSE OF OTHER TRADES IS REQUIRED. WHERE DRAWINGS OR SPECIFICATIONS DO NOT COINCIDE WITH MANUFACTURER'S RECOMMENDATIONS, OR ARE UNCLEAR AS TO INTENT. OR REQUIRED MATERIAL QUALITY. ADVISE THE ENGINEER IN WRITING BEFORE PROCEEDING WITH THE WORK, ALL COSE FOR REWORK NECESSARY TO RESOLVE DISCREPANCIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 8. REQUESTS FOR INFORMATION: ANY RFI FOR RESOLVING AN APPARENT CONFLICT OR UNCLARITY, OR A REQUEST FOR ADDITIONAL DETAIL, SHALL INCLUDE A SKETCH OR EQUIVALENT DESCRIPTION OF CONTRACTOR'S PROPOSED SOLUTION.
- 9. SUBMITTALS: PROVIDE SPECIFIED ITEMS AND EQUIPMENT UNLESS "EQUAL" OR "APPROVED EQUAL" IS EXPLICITLY INDICATED ON THE DRAWINGS. DEVIATIONS TO SPECIFIED ITEMS SHALL BE AT THE SOLE RISK OF THE CONTRACTOR, WHO SHALL BE RESPONSIBLE FOR ALL ASSOCIATED CHANGES TO THIS AND OTHER TRADES. REVIEW OF THE SHOP DRAWINGS BY THE ENGINEER SHALL NOT ABSOLVE THE CONTRACTOR FROM MEETING THE FULL DESIGN INTENT OF THE ASSOCIATED SYSTEM(S). SUBMITTALS SHALL INDICATE PRIOR REVIEW AND APPROVAL BY THE RESPONSIBLE CONTRACTOR. SUBMIT SUBMITTALS FOR REVIEW ELECTRONICALLY VIA SMRT'S INFORMATION EXCHANGE PROGRAM OR OTHER MUTUALLY AGREED UPON FILE SHARING SOFTWARE:
- A. AIR DISTRIBUTION LAYOUT DRAWINGS AND DETAILS.
- B. PIPING DISTRIBUTION LAYOUT DRAWINGS, COMPONENTS, AND DETAILS
- D. CONTROL SCHEMATICS, COMPONENTS, AND SEQUENCES.

C. ALL EQUIPMENT.

F. ALL TEST REPORTS.

E. BALANCING REPORTS

- G. ALL CERTIFICATES. H. ALLOW ENGINEER MINIMUM OF 10 WORKING DAYS FOR PROCESSING AND REVIEW OF EACH SUBMISSION.
- 10. OPERATION AND MAINTENANCE DATA: SUBMIT (3) SETS OF OPERATING AND MAINTENANCE MANUALS PRIOR TO THE COMPLETION OF THE PROJECT. O&M'S SHALL ACCURATELY INDICATE ALL PROVIDED ITEMS AND COMPONENTS OF THE EQUIPMENT - DO NOT SUBMIT GENERIC O&M WITHOUT INDICATING ALL OPTIONS, ACCESSORIES AND MODEL NUMBERS PROVIDE ON-SITE DEMONSTRATION OF ALL SYSTEMS TO OWNER AFTER SYSTEMS ARE FULLY OPERATIONALLY. 0&M MANUALS SHALL INCLUDE ALL COMPONENTS (DIFFUSERS, VALVES, ETC.) AS WELL AS SYSTEM DESCRIPTIONS OF ALL SYSTEMS WITH FLOW DIAGRAMS. WIRING DIAGRAMS, WRITTEN WARRANTIES, RECOMMENDED SPARE PARTS, AND ROUTING MAINTENANCE REQUIREMENTS WITH RECOMMENDED INTERVALS FOR ALL MOVING EQUIPMENT AND CONTROLS.
- 11. RECORD DRAWINGS: CAD RECORD DRAWINGS FILES SHALL BE SUBMITTED AT THE COMPLETION OF THE PROJECT SHOWING THE "AS-BUILT" CONDITION INCLUDING WORK INSTALLED AND ALL MODIFICATIONS OR ADDITIONS TO ORIGINAL DESIGN. OBTAIN THE AUTOCAD FILES FOR PREPARATION OF AS-BUILT DRAWINGS FROM THE ARCHITECT. THE ARCHITECT AND ENGINEER ARE NOT GRANTING ANY OWNERSHIP OR PROPERTY INTEREST IN THE CAD DRAWINGS BY THE DELIVERY OF THE CAD FILES. THE CONTRACTOR;S PERFORMANCE IN ITS CONTRACTUAL OBLIGATIONS WITH RESPECT TO THE PROJECT. ANY REUSE AND/OR OTHER USE BY THE CONTRACTOR WILL BE AT THE CONTRACTOR'S SOLE RISK AND WITHOUT LIABILITY TO THE ARCHITECT AND ENGINEER.
- 12. WARRANTIES: WARRANTY INSTALLATION IN WRITING FOR ONE YEAR FROM DATE OF OWNER'S ACCEPTANCE OF CERTIFICATE OF SUBSTANTIAL COMPLETION. WHERE INDIVIDUAL EQUIPMENT SECTIONS SPECIFY LONGER WARRANTEES, PROVIDE THE LONGER WARRANTEE. REPAIR, REPLACE OR PROVIDE TEMPORARY ACCOMMODATIONS FOR DEFECTIVE MATERIALS, EQUIPMENT, WORKMANSHIP AND INSTALLATION THAT DEVELOP WITHIN 24 HOURS OF NOTIFICATION. WARRANTY SHALL INCLUDE A CONTACT PERSON (NAME AND 24 HOUR TELEPHONE NUMBER) FOR SERVICE REQUESTS. CORRECT DAMAGE CAUSED WHILE MAKING NECESSARY REPAIRS AND REPLACEMENTS UNDER WARRANTY PERIOD AT NO ADDITIONAL COST.
- 13. COORDINATION: CONFER WITH ALL OTHER TRADES RELATIVE TO LOCATION OF ALL APPARATUS AND EQUIPMENT TO BE INSTALLED AND SELECT LOCATIONS SO AS NOT TO CONFLICT WITH OR HINDER THE PROGRESS OF THE WORK OF OTHER SECTIONS. WORK INSTALLED THAT CREATES INTERFERENCE OR RESTRICTS ACCESS REQUIRED BY CODE (INCLUDING CLEARANCES TO ELECTRICAL COMPONENTS) OR TO CONDUCT MAINTENANCE AND/OR ADJUSTMENTS SHALL BE MODIFIED AT NO ADDITIONAL COST TO THE OWNER.
- 14. SUPPORTS: INCLUDE ALL STRUCTURAL STEEL SUPPORTS, UNI-STRUT, HANGER BRACKETS, ETC., REQUIRED FOR THE EXECUTION OF THE WORK OF THIS SECTION. THE WELDS AND EDGES OF ALL BRACKETS SHALL BE FILED OR GROUND SMOOTH FOR PAINTING. HANGERS SHALL BE STEEL ANGLE IRON, CHANNEL OR STEEL ROD USED WITH APPROVED CLAMPS, INSERTS, ETC. ALL HANGERS SHALL BE GALVANIZED OR PAINTED WITH TWO COATS OF RUSTOLEUM PAINT BEFORE INSTALLATION. APPLY TOUCH-UP PAINT (ZINC GALVANIZING FOR GALVANIZED STEEL) AFTER INSTALLATION. SUPPORTS INSTALLED IN EXTERIOR LOCATIONS SHALL BE PVC COATED STEEL, GALVANIZED STEEL, OR STAINLESS STEEL WITH
- 15. CUTTING AND PATCHING: INCLUDE ALL CORING, CUTTING, PATCHING AND FIREPROOFING NECESSARY FOR THE EXECUTION OF THE WORK OF THIS SECTION. STRUCTURAL ELEMENTS SHALL NOT BE CUT WITHOUT WRITTEN APPROVAL OF THE ARCHITECT. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING ALL PRECAUTIONS REQUIRED TO IDENTIFY HIDDEN PIPING, CONDUITS, ETC. BEFORE ANY CORE DRILLING AND/OR CUTTING OF SLABS COMMENCES, INCLUDING X-RAYING THE AFFECTED SLABS. REPAIR AND PATCH AROUND THE WORK SPECIFIED HEREIN TO MATCH THE EXISTING ADJACENT SURFACES TO THE SATISFACTION OF THE ARCHITECT. FILL AND PATCH ALL OPENINGS OR HOLES LEFT IN THE EXISTING STRUCTURES BY THE REMOVAL OF EXISTING EQUIPMENT THAT IS PART OF THIS SECTION OF THE SPECIFICATIONS. PATCH AND SEAL ALL EXISTING OPENINGS IN DUCTWORK AND PIPING NOT UTILIZED FOR NEW LAYOUT. PROVIDE FIRE STOPPING TO MAINTAIN THE FIRE RATING OF THE FIRE RESISTANCE-RATED ASSEMBLY. ALL PENETRATIONS AND ASSOCIATED FIRE STOPPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FIRE STOPPING MANUFACTURER'S LISTED INSTALLATION DETAILS AND BE LISTED BY UL OR FM
- 16. HOISTING, SCAFFOLDING AND PLANKING: INCLUDE THE FURNISHING, SET-UP AND MAINTENANCE OF ALL HOISTING MACHINERY, CRANES, SCAFFOLDS, STAGING AND PLANKING AS REQUIRED FOR THE EXECUTION OF WORK FOR THIS
- 17. SAFETY PRECAUTIONS: LIFE SAFETY AND ACCIDENT PREVENTION SHALL BE A PRIMARY CONSIDERATION. COMPLY WITH ALL OF THE SAFETY REQUIREMENTS OF THE OWNER AND OSHA THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD OF THE PROJECT. FURNISH, PLACE AND MAINTAIN PROPER GUARDS AND ANY OTHER NECESSARY CONSTRUCTION REQUIRED TO SECURE SAFETY OF LIFE AND PROPERTY.
- 18. ACCESSIBILITY: ALL WORK PROVIDED UNDER THIS SECTION OF THE SPECIFICATION SHALL BE INSTALLED SO THAT PARTS REQUIRING PERIODIC INSPECTION, MAINTENANCE AND REPAIR ARE READILY ACCESSIBLE. WORK OF THIS TRADE SHALL NOT INFRINGE UPON CLEARANCES REQUIRED BY EQUIPMENT OF OTHER TRADES.

- 19. PROTECTION OF WORK AND PROPERTY: THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND PROTECTION OF ALL WORK INCLUDED UNDER THIS SECTION UNTIL THE COMPLETION AND FINAL ACCEPTANCE OF THIS PROJECT. PROTECT ALL EQUIPMENT AND MATERIALS FROM DAMAGE FROM ALL CAUSES INCLUDING, BUT NOT LIMITED TO, FIRE, VANDALISM AND THEFT. ALL MATERIALS AND EQUIPMENT DAMAGED OR STOLEN SHALL BE REPAIRED OR REPLACED WITH EQUAL MATERIAL OR EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER. PROTECT ALL EQUIPMENT, OUTLETS AND OPENINGS, AND ROOF PENETRATIONS WITH TEMPORARY PLUGS, CAPS AND COVERS. PROTECT WORK AND MATERIALS OF OTHER TRADES FROM DAMAGE THAT MIGHT BE CAUSED BY WORK OR WORKMEN UNDER THIS SECTION AND MAKE GOOD DAMAGE THUS CAUSED. DAMAGED MATERIALS ARE TO BE REMOVED FROM THE SITE: NO SITE STORAGE OF DAMAGED MATERIALS WILL BE ALLOWED. ANY DAMAGE TO EXISTING SYSTEMS AND EQUIPMENT CAUSED BY THIS CONTRACTOR DURING INSTALLATION SHALL BE REPAIRED AND/OR REPLACED AT THIS CONTRACTOR'S EXPENSE TO THE COMPLETE SATISFACTION OF THE BUILDING OWNER.
- 20. SEISMIC RESTRAINT REQUIREMENTS: PROVIDE SEISMIC RESTRAINTS AS REQUIRED IN ACCORDANCE WITH THE STATE BUILDING CODE. A REGISTERED PROFESSIONAL STRUCTURAL ENGINEER, LICENSED IN THE APPLICABLE STATE FOR THE PROJECT LOCATION, SHALL PREPARE THE SEISMIC RESTRAINT DESIGN AND CERTIFY THAT THE DESIGN IS IN COMPLIANCE WITH THE STATE BUILDING CODE REQUIREMENTS.

PART 2 - PRODUCTS

- DUCTWORK: DUCTWORK SHALL BE ASTM A653 GALVANIZED STEEL SHEET, LOCK-FORMING QUALITY, AND G90 ZINC COATING, MATERIAL, CONSTRUCTION, AND INSTALLATION SHALL MEET REQUIREMENTS OF MOST RECENT EDITIONS OF SMACNA HVAC DUCT CONSTRUCTION STANDARDS, EXCEPT FOR MORE STRINGENT REQUIREMENTS SPECIFIED OR SHOWN ON DRAWINGS. PROVIDE DUCTWORK PRESSURE CLASS 2" AND SEAL CLASS A. PROVIDE FLEXIBLE CONNECTION ON ALL DUCTS CONNECTING TO FANS AND ROTATING EQUIPMENT. MAXIMUM LENGTH OF FLEXIBLE RUN-OUT TO DIFFUSERS SHALL BE 5 FEET. FOR LONGER RUN-OUTS, ADD RIGID DUCT. DUCTS SHALL BE CONSTRUCTED OF HOT DIPPED GALVANIZED STEEL UNLESS OTHERWISE NOTED. KITCHEN HOOD EXHAUST SHALL BE WELDED STAINLESS STEEL.
- 2. EXTERIOR DUCTWORK WILL BE INSULATED WITH R-8 VAPOR-TIGHT INSULATION ON BOTH THE SUPPLY AND EXHAUST DUCTWORK. INTERIOR DUCTOWKR SHALL BE INSULATED TO A POINT WITHIN 10'0" OF AN EXTERIOR PENETRATION, THE REMAINDER OF THE RETURN DUCTWORK SHALL BE UNINSULATED.
- 3. INLET SUPPLY DUCTWORK SHALL BE INSULATED WITH 1-1/2" FIBERGLASS INSUALTION WITH FSK JACKET
- HOT WATER PIPING SHALL BE TYPE L COPPER WITH WROUGHT COPPER AND BRASS FITTINGS (SOLDERED) FOR PIPING 2" AND BELOW. ALL HOT WATER PIPING WILL BE INSULATED PER APPLICABLE CODES.
- REFRIGERANT PIPING SHALL BE TYPE L COPPER WITH WROUGHT COPPER AND BRASS FITTINGS WITH BRAZED JOINTS. ALL REFRIGERANT PIPING WILL BE INSULATED PER APPLICABLE CODES, PROVIDING A MINUMUM OF 1" THICK FLEXIBLE ELASTOMERIC INSULATION. EXTERIOR PIPING SHALL BE PROVIDED WITH PVC JACKET

- DEMOLITION: THE EXISTING FACILITY WILL CONTINUE TO OPERATE DURING ALL PHASES OF THE DEMOLITION WORK AND SUBSEQUENT CONSTRUCTION. NO INTERRUPTION OF THE SYSTEMS WILL BE PERMITTED WITHOUT PRIOR APPROVAL OF THE OWNER'S REPRESENTATIVE. SUBMIT PROPOSED METHODS AND SEQUENCE OF OPERATIONS FOR THE SELECTIVE DEMOLITION WORK TO THE OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO THE START OF THE WORK. ANY DEMOLITION SHALL BE COORDINATED WITH OWNER, ARCHITECT, CM/GC, AND ENGINEER. PERFORM ALL DEMOLITION WHILE ENSURING MINIMUM INTERFERENCE WITH ADJACENT OCCUPIED AREAS.
- INSTALLATION OF EQUIPMENT: INSTALL ALL ITEMS SPECIFIED UNDER PART 2 PRODUCTS, ACCORDING TO THE MANUFACTURER'S REQUIREMENTS, SHOP DRAWINGS, AND DETAILS AS SHOWN ON THE DRAWINGS AND AS SPECIFIED. INSTALL ALL WORK SO THAT PARTS REQUIRING INSPECTION, REPLACEMENT, MAINTENANCE AND REPAIR SHALL BE READILY ACCESSIBLE. MINOR DEVIATIONS FROM THE DRAWINGS MAY BE MADE TO ACCOMPLISH THIS, BUT ANY
- SUBSTANTIAL CHANGE SHALL NOT BE MADE WITHOUT PRIOR WRITTEN OWNER APPROVAL. 3. IDENTIFICATION: ALL EQUIPMENT, PIPING, VALVES, DUCTWORK, AND FIRE, SMOKE, AND FIRE/SMOKE DAMPERS PROVIDED #15 UNDER THIS SECTION OF THE SPECIFICATIONS SHALL BE MARKED FOR EASE OF IDENTIFICATION PER OWNER'S OR
- 4. CLEANING: DUCTS SHALL BE THOROUGHLY CLEANED SO THAT NO DIRT OR DUST SHALL BE DISCHARGED FROM DIFFUSERS REGISTERS, OR GRILLES, WHEN SYSTEM IS OPERATED. AFTER ALL WATER SYSTEMS HAVE BEEN PRESSURE TESTED AND APPROVED FOR TIGHTNESS, CLEAN AND FLUSH PIPING. AFTER COMPLETION OF PROJECT, CLEAN EXTERIOR SURFACES OF ALL EQUIPMENT INCLUDED IN THIS SECTION, INCLUDING REMOVAL OF CONCRETE RESIDUE. AFTER COMPLETION OF PROJECT, REMOVE ALL CONSTRUCTION DEBRIS, TEMPORARY FACILITIES AND EQUIPMENT FROM WORK AREA. CLEAN
- TESTING AND INSPECTION: PROVIDE QUALIFIED PERSONNEL, EQUIPMENT, APPARATUS, AND SERVICES FOR TESTING AND INSPECTION OF MECHANICAL SYSTEMS. DO NOT COVER OR CONCEAL WORK BEFORE TESTING AND INSPECTION AND OBTAINING APPROVAL, AFTER ALL COMPONENTS OF THE REFRIGERANT SYSTEMS HAVE BEEN INSTALLED AND THE PIPING CONNECTED, THE SYSTEM SHALL BE SUBJECTED TO A REFRIGERANT LEAKAGE TEST. THE REFRIGERANT LEAKAGE TEST SHALL BE DONE BEFORE ANY REFRIGERANT PIPE IS INSULATED OR COVERED. HIGH AND LOW SIDE OF THE REFRIGERANT SYSTEM SHALL BE TESTED FOR THE MINIMUM REFRIGERANT LEAKAGE TEST PRESSURE SPECIFIED IN ASHRAE 15, FOR THE REFRIGERANT USED. SYSTEM SHALL BE PROVED TIGHT AND FREE OF LEAKS BY ALLOWING THE REFRIGERANT LEAKAGE TEST PRESSURE TO REMAIN ON THE SYSTEM FOR 24 HOURS WITH NO DROP IN PRESSURE. LEAKS, DAMAGE, AND DEFECTS DISCOVERED OR RESULTING FROM TESTING SHALL BE REPAIRED OR REPLACED TO LIKE-NEW CONDITION WITH ACCEPTABLE MATERIALS. TESTS SHALL BE CONTINUED UNTIL SYSTEMS OPERATE WITHOUT LEAKS OR REPAIRS. REPORT ON INDUSTRY STANDARD REPORTING FORMS, SUBMITTED FOR APPROVAL IN ADVANCE. SUBMIT SIX COPIES OF TESTING REPORTS FOR APPROVAL. CONTRACTOR SHALL FURNISH ALL TEST MEDIUMS AND DISPOSE OF ALL TEST MEDIUMS AT AN APPROVED OFF SITE LOCATION AFTER TESTING IS COMPLETE.
- 6. START UP AND BALANCING: PROVIDE NEBB, AABC, OR NBI CERTIFIED PERSONNEL, EQUIPMENT, APPARATUS, AND SERVICES FOR START-UP AND BALANCING OF MECHANICAL SYSTEMS TO PERFORMANCE DATA SHOWN IN SCHEDULES AND ON DRAWINGS, AS SPECIFIED, AND AS REQUIRED BY CODES, STANDARDS, REGULATIONS, AND AUTHORITIES HAVING JURISDICTION INCLUDING CITY INSPECTORS. AIR FLOWS SHALL BE BALANCED TO +/- 10% OF DESIGN. LEAKS, DAMAGE AND DEFECTS DISCOVERED OR RESULTING FROM START-UP AND BALANCING SHALL BE REPAIRED OR REPLACED TO LIKE-NEW CONDITION WITH ACCEPTABLE MATERIALS. TESTS SHALL BE CONTINUED UNTIL SYSTEM OPERATES WITHOUT ADJUSTMENTS OR REPAIRS. REPORT DATA ON INDUSTRY STANDARD NEBB, AABC, OR NBI REPORTING FORMS. SUBMIT SIX COPIES OF START-UP AND BALANCING REPORTS TO ARCHITECT FOR APPROVAL. PRIOR TO THE START OF DEMOLITION, THE TESTING AND BALANCING CONTRACTOR SHALL TAKE CFM AND STATIC PRESSURE READINGS AT AREAS DESIGNATED
- ON THE CONTRACT DRAWINGS. READINGS SHALL BE SUBMITTED PRIOR TO START OF NEW WORK.

WORK AREA TO PERMIT OCCUPATION

- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ITEMS ASSOCIATED WITH PROJECT CLOSEOUT. ALLOW SUFFICIENT TIME IN THE CONSTRUCTION SCHEDULE TO ENSURE THAT THE INSTALLATION IS SUBSTANTIALLY COMPLETE AND ALL REQUIRED TESTING AND ACCURATELY COMPLETED DOCUMENTATION IS DELIVERED TO THE ENGINEER AT LEAST TWO WEEKS PRIOR TO ENGINEER'S SUBSTANTIAL COMPLETION SITE VISIT.
- B. PROVIDE CERTIFICATES OF INSPECTIONS FROM EQUIPMENT MANUFACTURERS FOR ALL COMPRESSORIZED EQUIPMENT, BOILERS AND FLUES, AND EQUIPMENT WITH MOTORS 5 HP AND LARGER STATING THAT THE AUTHORIZED FACTORY REPRESENTATIVES HAVE INSPECTED AND TESTED THE OPERATION OF THEIR RESPECTIVE EQUIPMENT AND FOUND THE EQUIPMENT TO BE IN SATISFACTORY OPERATING CONDITION AND INSTALLED PER THE MANUFACTURERS INSTALLATION INSTRUCTIONS AND REQUIREMENTS.
- C. PROVIDE BACKUP DOCUMENTATION TO VERIFY THAT ALL SEQUENCES OF OPERATIONS AND CONTROLS HAVE BEEN INCORPORATED AND ALL SYSTEMS AND EQUIPMENT ARE WORKING PER THE SPECIFIED SEQUENCES OF OPERATIONS.
- D. PROVIDE BACKUP DOCUMENTATION THAT ALL DUCT AND PIPING LEAKAGE AND PRESSURE TESTS HAVE BEEN CONDUCTED AND THAT ALL SYSTEMS HAVE PASSED. PROVIDE START-UP AND BALANCING REPORTS FOR ALL AIR AND WATER SYSTEMS. AIR BALANCING REPORT SHALL VERIFY THE DESIGN OUTDOOR AIR IS BEING SUPPLIED TO THE
- E. SUBSTANTIAL COMPLETION SITE VISIT BY THE ENGINEER SHALL BE CONDUCTED AFTER RECEIPT AND REVIEW OF THE CONTRACTOR'S CERTIFICATE OF COMPLETION AND ALL CODE MANDATED TEST REPORTS AND SUBMISSIONS LISTED ABOVE. SUBSTANTIAL COMPLETION SITE VISITS SHALL NOT BE REQUESTED UNTIL THE PROJECT IS SUBSTANTIALLY COMPLETE.

F. PREMATURE REQUESTS THAT REQUIRE ADDITIONAL/FOLLOW UP SITE VISITS BY THE ENGINEER OF DEFICIENT ITEMS

G. TRAINING: PROVIDE OWNER WITH 8 HOURS OF TRAINING FOR LAHEY STAFF ON EQUIPMENT AND CONTROLS. SCHEDULE MINIMUM 2 WEEKS IN ADVANCE.

(AREAS INCOMPLETE, SYSTEMS NOT OPERATIONAL, ETC.) WILL RESULT IN BACK CHARGES OF THE COSTS ASSOCIATED



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PROJECT LOCATION MECHANICAL AND PLUMBING NOTES AND SPECIFICATIONS

SCALE: AS NOTED RSC PROJECT NO: PROJECT MANAGER: A/E OF RECORD: JOB CAPTAIN: DRAWN BY

SHEET TITLE:

SMRT FILE: M-001-23039 SHEET No.

PLUMBING GENERAL NOTES

- 1. ALL PLUMBING GENERAL NOTES, SYMBOLS, LISTS AND DETAILS ARE TO BE CONSIDERED AS APPLICABLE TO ALL PLUMBING DRAWINGS FOR THIS PROJECT.
- 2. THE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND EXACT LOCATIONS AND ARRANGEMENTS OF EXIST!NEW EQUIPMENT, DUCTWORK, PIPING AND OTHER COMPONENTS SHALL BE DETERMINED IN THE FIELD WITH DUE CONSIDERATION OF STRUCTURAL, ELECTRICAL AND ARCHITECTURAL SYSTEM. EXISTING STRUCTURAL SYSTEMS SHALL NOT BE MODIFIED WITHOUT THE EXPRESS PERMISSION OF THE ENGINEER.
- 3. IF REQUIRED THE PROJECT SHALL BE PHASED IN ACCORDANCE WITH THE APPROVED PHASING PLAN. THE CONTRACTOR SHALL OBTAIN APPROVAL FOR THE SEQUENCING AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. SEE SPECIFICATIONS.
- 4. CONTRACTOR IS TO MAINTAIN SERVICE TO ROOMS OUTSIDE THE PROJECT SCOPE OF WORK AND PHASING SCHEDULE. IF INTERRUPTION OF SERVICE IS REQUIRED COORDINATE SHUTDOWN WITH PROJECT ENGINEER AND OWNER.
- 5. CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN. RESTORE

AMAGED AREAS THAT ARE BEYOND THE SCOPE OF THIS CONTRACT TO THEIR ORIGINAL CONDITION.

ENGINEER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL DEMO'D EQUIPMENT.

- 6. WHERE INDICATED ON THE DRAWINGS, REMOVE OR RELOCATE EXISTING COMPONENTS AS REQUIRED TO ACCOMMODATE THE NEW WORK. REMOVALS SHALL INCLUDE ALL ASSOCIATED OFF-SITE DISPOSAL COSTS.
- 7. COORDINATE REMOVALS AND RELOCATION'S INCLUDING SELECTIVE CUTTING AND PENETRATIONS WITH ARCHITECTURAL, MECHANICAL STRUCTURAL AND ELECTRICAL CONTRACTORS.
- 8. MOST PARTITIONS ARE FULL HEIGHT AND REQUIRE UTILITIES PENETRATIONS TO BE SEALED, SEE ARCHITECTURAL DRAWINGS FOR PARTITION HEIGHTS. DUCTWORK SHOWN FOR CLARITY THAT MAY RUN PARALLEL TO WALL PARTITIONS
- WILL REQUIRE LOCATING IN THE FIELD TO MINIMIZE CONFLICT WITH PARTITIONS. 9. FIELD VERIFY EXISTING EQUIPMENT AND PIPING PRIOR TO REMOVAL OR REUSE. CONFIRM WITH PROJECT ENGINEER THAT

ALL EQUIPMENT AND PIPING DESIGNATED TO BE REMOVED IS NO LONGER IN SERVICE PRIOR TO ITS REMOVAL. PROJECT

- 10. EXISTING EQUIPMENT AND PIPING TO REMAIN IN SERVICE SHALL BE INSPECTED. REPORT INOPERABLE EQUIPMENT TO PROJECT ENGINEER.
- 11. ALL UNUSED (ABANDONED), PIPING AND EQUIPMENT INDICATED TO BE REMOVED SHALL BE REMOVED AND CAPPED.
- 12. TIE-IN POINT LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL DETERMINE EXACT LOCATIONS IN THE FIELD BASED ON EXISTING CONDITIONS.
- 13. COORDINATE THE LOCATIONS OF ALL WALL MOUNTED EQUIPMENT WITH FINAL EQUIPMENT/FURNITURE LAYOUT.
- 14. AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A CLEAN AND NEAT CONDITION.
- 15. INSTALL EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND GOOD PRACTICE NORMAL TO THE TRADE. INSTALLATION SHALL INCLUDE PROVISIONS FOR ACCESS TO NORMAL MAINTENANCE ITEMS. PROVIDE ADEQUATE STRUCTURAL SUPPORTS AND SECURE MOUNTING METHODS WITH PROVISIONS FOR VIBRATION ISOLATION AND EXPANSION WHERE REQUIRED.
- 16. COORDINATE ALL PENETRATIONS WITH GENERAL CONTRACTOR. SEE ARCHITECTURAL DRAWINGS FOR PENETRATION DETAILS. PLUMBING CONTRACTOR SHALL PROVIDE FLASHING AND COUNTER FLASHING FOR ROOF PENETRATIONS AS
- 17. PROVIDE PIPE SUPPORTS, GUIDES AND OFFSETS AS NECESSARY TO PREVENT UNDUE STRAIN ON PIPING.
- 18. SEE DETAILS, PIPING DIAGRAMS AND MANUFACTURER'S RECOMMENDATIONS FOR ADDITIONAL VALVES & FITTINGS NECESSARY FOR COMPLETE PIPING SYSTEM.
- 19. CONTRACTOR TO COORDINATE ALL WORK WITH OTHER BUILDING TRADES, RELOCATION OF EXISTING UTILITIES MAY BE NECESSARY TO ACCOMMODATE INSTALLATION OF NEW EQUIPMENT OR DUCTWORK.
- 20. SEE SPECIFICATIONS FOR OTHER REQUIREMENTS.
- 21. CONTRACTOR SHALL FIELD VERIFY ALL CLEARANCES AND DIMENSIONS
- 22. PROVIDE ACCESS PANELS FOR ALL CONCEALED SHUT-OFF VALVES EXCEPT THOSE ABOVE SUSPENDED CEILING
- 23. INFILL ALL NEW OR EXISTING ABANDONED FLOOR SLAB PENETRATIONS WITH GROUT, FULL THICKNESS OF SLAB. MAINTAIN FIRE RATING. ALL EXISTING CONCRETE FLOORS AND CHASES ARE 2-HR FIRE RATED.
- 24. ALL DOMESTIC WATER SUPPLY, VENT AND MEDICAL GAS PIPING SHALL BE RUN ABOVE CEILINGS OR WITHIN PARTITIONS UNLESS OTHERWISE NOTED.
- 25. PLUMBING RISERS SHALL BE RUN CONCEALED WITHIN WALLS OR CHASES. COORDINATE WITH ARCHITECTURAL DRAWINGS. 26. SANITARY LINES SHALL SLOPE 1/4" PER FOOT UNLESS NOTED OTHERWISE.
- 27. COORDINATE WITH BUILDING OWNER PRIOR TO CUTTING OR GRINDING FLOORS.
- 28. INSTALLATION SHALL PERMIT ACCESSIBILITY FOR SERVICE AND/OR REPLACEMENT OF EQUIPMENT PROVIDED. PROVIDE ACCESS PANELS TO ALLOW ACCESS TO SYSTEMS COMPONENTS THAT REQUIRE INSPECTION AND MAINTENANCE ACCORDING TO MANUFACTURER'S LITERATURE.
- 29. NEW PIPING LOCATIONS ON THE PLANS ARE DIAGRAMMATICAL. TO THE EXTENT POSSIBLE THE CONTRACTOR SHALL INSTALL PIPING SYSTEMS TO MINIMIZE RUN LENGTHS TO FIXTURES.



PLUMBING PERFORMANCE SPECIFICATIONS

WATER NEEDS. THIS UNIT SHALL BE LOCATED IN BASEMENT BOILER ROOM.

GENERAL REQUIREMENTS

- SCOPE OF WORK: A. DESIGN BUILD CONTRACTOR IS RESPONSIBLE FOR PREPARING CONSTRUCTION DRAWINGS STAMPED BY A LICENSED
- ENGINEER IN THE STATE OF MAINE. B. A COMPLETE NEW PLUMBING SYSTEM SHALL BE DESIGNED AND INSTALLED INCLUDING DOMESTIC HOT AND COLD
- WATER SYSTEMS, SANITARY WASTE AND VENT, AND CONDENSATE DRAINAGE IF REQUIRED. C. EXISITNG DOMESTIC WATER PIPING SHALL BE REMOVED AND REPLACED WITH NEW THROUGHOUT THE BUILDING TO A POINT 10' OFF THE FOUNDATION WALL. SANITARY DRAINAGE PIPING SHALL BE REMOVED IN ITS ENTIRITY FROM FIRST FLOOR FIXTURES. UNDERSLAD PIPING SHALL BE MODIFIED AS NECESSARY TO ACCOMODATE THE INSTALLATION OF NEW FIXTURES. ABANDONED UNDERSLAB PIPING SHALL BE CAPPED AT BOTH ENDS AND FILLED WITH SAND. VENT PIPING SHALL BE REMOVED AND REPLACED IN ITS ENTIRETY.
- D. A NEW LINE SIZE RPZ AND WATER METER SHALL BE PROVIDED AT WATER ENTRANCE. WATER METER SHALL MEET TOWN REQUIRMENTS.
- E. DOMESTIC COLD AND HOT WATER SYSTEMS SHALL BE INSTALLED TO SERVE NEW FIXTURES IN THE BASEMENT AND ON THE FIRST FLOOR. NEW PIPING WILL BE INSTALLED TO KEEP VELOCITIES BELOW 8 FPS ON THE DOMESTIC COLD AND 4
- F. A NEW OIL FIRED, ATMOSPHERIC, HOT WATER HEATER SHALL BE SIZED AND INSTALLED TO SERVE BUILDINGS HOT
- G. COLD WATER DISTRIBUTION WILL BE INSULATED WITH CLOSED CELL ELASTOMERIC INSULATION AND WILL INCLUDE PVC FITTING COVERS AND AN ALL-SERVICE JACKET. HOT WATER DISTRIBUTION SYSTEMS SHALL BE INSULATED WITH
- FIBERGLASS AND WILL INCLUDE PVC FITTING COVERS AND AN ALL-SERVICE JACKET. PROVIDE PVC JACKETING ON ALL PIPING LOWER THAN 10-FEET AFF.
- H. SANITARY VENT AND WASTE SYSTEMS SHALL BE INSTALLED TO SERVE NEW FIXTURES IN THE BASEMENT AND ON THE I. CONDENSATE DRAIN FROM ALL MINSPLIT SYSTEMS SHALL BE ROUTED TO SANITARY DRAIN VIA INDIRECT WASTE OR DISCHARGED IN AN APPROVED DISPOSAL AREA.
- J. ALL NEW FIXTURES SHALL BE PROVIDED AND INSTALLED BY PLUMBING CONTRACTOR AS INDICATED ON ARCHITECTURAL FLOOR PLANS AND PLUMBING PERFORMANCE SPECIFICATIONS. NEW FIXTURES SHALL BE ADA COMPLIANT, COMMERCIAL GRADE, WHITE VITREOUS CHINA WITH CHROME PLATED BRASS FAUCETS AND LOW WATER CONSUMPTION UNLESS NOTED OTEHRWISE. NEW WATER CLOSETS SHALL BE PRESSURE ASSISTED FLUSH
- TANK STYLE. FAUCETS ON LAVS SHALL BE RESIDENTIAL TWO HANDLED HIGH-ARC STYLE. K. FIXTURES IN THE KITCHEN AREA OF THE FIRST FLOOR SHALL BE REUSED AND INSTALLED IN NEW COUNTERS, NEW SUPPLY, WAST AND VENT PIPING SHALL BE PROVIDED TO THESE FIXTURES. A NEW DISHWASHER, PROVIDED
- L. SHOWER ENCLOSURE: SMOOTH FINISH, WHITE, PROVIDE SHOWER ROD & ROLLING HOOKS, TYPICAL. a. ROOMS 121,122,128 SINGLE-PIECE 36" X 48" ACCESSIBLE SHOWER ENCLOSURE, 4" CURB, GRAB BARS & INTEGRAL b. ROOM 111A MULTI-PIECE 30" X 54" SHOWER ENCLOSURE KIT, 4" CURB, GRAB BAR, CENTER DRAIN.
- 2. THE FOLLOWING APPLIES TO PLUMBING AND PROCESS PIPING TRADES.

BY OWNER, SHALL BE INSTALLED TO REPLACE CURRENT UNIT.

c. ROOM 102 SINGLE 32" X 60" TUB SHOWER COMBINATION WITH LEFT DRAIN.

.M. SHOWER FIXTURE: ADA COMPLAINT CONTROL SYSTEM, 1.5 GPM, 3/4" THRESHOLD TYPICAL.

- 3. OBTAIN ALL PERMITS AND APPROVALS TO PERFORM THE WORK
- 4. VERIFY ALL MEASUREMENTS AND EXISTING CONDITIONS IN THE FIELD. GENERAL SCHEMATIC LAYOUT IS INDICATED;ALL OFFSETS OBSTRUCTIONS, AND EXISTING CONFIGURATIONS AND CONSTRAINTS MUST BE FIELD VERIFIED.
- INSTALL ALL NEW AND RELOCATED EXISTING COMPONENTS IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS APPLICABLE CODES AND STANDARDS.
- COORDINATE ELECTRICAL POWER REQUIREMENTS FOR ALL MOTORS.
- 7. COORDINATE WITH OWNER FURNISHED EQUIPMENT AND SYSTEMS.
- 8. THIS RENOVATION WORK WILL TAKE PLACE IN OCCUPIED SPACE. INSTALLATIONS SHALL NOT AFFECT ONGOING OPERATIONS. COORDINATE HOURS AVAILABLE TO PERFORM WORK WITH THE OWNER AND GENERAL CONTRACTOR.
- 9. SEAL INTERIOR PIPE PENETRATIONS WITH FIRE SEALANT. SEAL EXTERIOR WALL PIPE PENETRATIONS WATER TIGHT.
- 10. CUT AND PATCH SURFACES, RESTORING ORIGINAL FINISHES.
- 11. EQUIPMENT LISTED IS THE BASIS OF DESIGN, OR APPROVED EQUAL
- 12. SUBMITTALS, PRE-CONSTRUCTION: SUBMIT CATALOG CUT SHEETS OF PROPOSED EQUIPMENT FOR ENGINEER REVIEW AND APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
- 13. SUBMITTALS, DURING CONSTRUCTIONS: SUBMIT COPIES OF PIPE ROUGH-IN PRESSURE TESTS AS COMPLETED.
- 14. SUBMITTALS, POST CONSTRUCTION: SUBMIT COPIES OF FINAL PRESSURE TEST, FLUSHING AND PLUMBING DISINFECTION REPORTS. SUBMIT COPIES OF COMPLETED MANUFACTURER START UP REPORTS FOR EQUIPMENT.
- 15. OPERATIONS AND MAINTENANCE MANUALS: SUBMIT ALL TESTING DATA AND COPIES OF APPROVED PRODUCT DATA. INCLUDING MAINTENANCE INFORMATION IN A TABBED, NEATLY ORGANIZED THREE RING BINDER. INCLUDE VALVE
- IDENTIFICATION CHARTS PROVIDE 3 COPIES TO THE OWNER. 16. PIPE IDENTIFICATION; LABELING SHALL APPEAR AT INTERVALS OF NOT MORE THAN 20 FEET AND AT LEAST ONCE IN EACH ROOM AND EACH STORY TRAVERSED BY THE PIPING SYSTEM. ALL PIPING SHALL BE CLEARLY IDENTIFIED SPECIFICALLY

FOR TYPE OF SERVICE WITH COILED PLASTIC PIPE MARKERS AND FLOW DIRECTION ARROWS. ALL LABELS SHALL COMPLY

- 17. RECORD DRAWINGS; MAINTAIN A CURRENT SET OF MARKED UP CONSTRUCTION DRAWINGS ON SITE AT ALL TIMES. PROVIDE A COMPLETE SET OF THESE RECORD MARK-UPS TO THE ARCHITECT AT THE END OF THE PROJECT.
- 18. ASTM E84 COMPLIANCE: INSULATION AND OTHER MATERIALS SHALL COMPLY WITH THE FLAME AND SMOKE SPREAD
- 19. USE OF SILICON BASED SEALANTS IS NOT ALLOWED.
- 20. USE OF PIPE DOPE IS NOT ALLOWED.
- PLUMBING PIPING SYSTEMS, GENERAL
- PERFORM PLUMBING WORK PER THE LATEST EDITIONS OF THE MAINE PLUMBING CODE (UPC 2015)
- 1. INSTALL PIPING COMPLETE WITH; PIPE, FITTINGS, VALVES, STRAINERS, HANGERS, SUPPORTS, GUIDES, SLEEVES AND ACCESSORIES. INCLUDE ESCUTCHEONS AT THRU-WALL AND THRU-FLOOR PENETRATIONS IN FINISHED SPACES.
- 2. PIPE SUPPORTS; PROVIDE ADEQUATE SUPPORT FOR THE PIPE AND CONTENTS TO PREVENT SAGGING, VIBRATION, AND SWAYING AND ALLOW FOR EXPANSIONS AND CONTRACTION. PROVIDE SUPPLEMENTAL STEEL AS REQUIRED WHERE STRUCTURE CANNOT SUPPORT POINT LOADS. WHERE CONNECTING TO EXISTING ROOF JOISTS, CONNECT AT TOP CHORD PANEL POINTS ONLY. HORIZONTAL PIPING TO BE SUPPORTED BY FORGED STEEL ADJUSTABLE CLEVIS TYPE HANGERS, UNLESS OTHERWISE NOTED ON DRAWINGS. A. PROVIDE TRENCHING, SUITABLE FILL AND CONTINUOUS SUPPORT FOR BURIED SYSTEMS. PROVIDE WARNING TAPE
- IN TRENCH, ABOVE PIPING PRIOR TO COMPLETION OF BACKFILL. B. PROVIDE INSULATION SHIELDS ON INSULATED LINES.

PLUMBING FIXTURES

- 1. FIXTURES TO BE COMMERCIAL GRADE, LOW CONSUMPTION, AND ADA COMPLIANT WHERE INDICATED ON THE PLANS AND WHERE REQUIRED BY CODE.
- 2. PROVIDE ALL FIXTURES WITH STOP VALVES, CHROME PLATED TUBE SUPPLY, AND FIXTURE TRAPS AS REQUIRED. 3. REFER TO ARCHITECTURAL DOCUMENTS FOR EXACT LOCATIONS AND MOUNTING HEIGHTS OF ALL PLUMBING FIXTURES.

PLUMBING EQUIPMENT AND SPECIALTIES

- 1. SHOCK ABSORBERS AND AIR CHAMBERS: PROVIDE WATER HAMMER ARRESTORS ON WATER SUPPLIES TO QUICK CLOSING SOLENOID VALVES. WHERE NOT PROVIDED, CONNECT TO FIXTURES USING AIR CHAMBERS.
- 2. PROVIDE ACCESS AND ACCESS PANELS TO PROVIDE ACCESSIBLE EQUIPMENT AND SPECIALTIES. WHERE NECESSARY, PROVIDE METAL UNITS WITH LOCKS. CONFIGURATION AND TRIM AS REQUIRED BY FINISH WALL SURFACE. APPROVED MANUFACTURERS INCLUDE KARP, MILCOR, NYSTROM, OR APPROVED EQUAL.

PLUMBING PIPING

- 1. PROVIDE ALL PIPING COMPLETE WITH FITTINGS, VALVES, STRAINERS, MOTORIZED VALVE OPERATORS, STRAINERS, HANGERS, SUPPORTS, GUIDES, SLEEVES, AND ACCESSORIES.
- 2. ALL PRESSURIZED PIPING TO BE TESTED HYDROSTATICALLY TO 150 PSI OR 150% OF OPERATING PRESSURE, WHICHEVER IS GREATER, BUT NEVER EXCEED TEST PRESSURE ANSI B16.1 BASIS. TEST DURATION TO BE 2 HOURS WITH NO PRESSURE CHANGE CORRECTED FOR TEMPERATURE CHANGE.
- 3. DRAINAGE AND VENT PIPING SHALL BE TESTED. CAP ALL OUTLETS AND FILL PIPING SYSTEM TO OVERFLOWING FROM A POINT AT LEAST 10 FT ABOVE THE FLOOR. WATER LEVEL SHALL REMAIN CONSTANT THROUGHOUT A 2 HOUR TEST
- 4. REPAIR OR REPLACE LEAKS OR DEFECTS WITHOUT ADDITIONAL COST.
- 5. PROVIDE DIELECTRIC FITTINGS WHERE DISSIMILAR METALS ARE TO BE JOINED. 6. PROVIDE ADEQUATE SUPPORT FOR PIPE AND CONTENTS TO PREVENT SAGGING, VIBRATION, OR SWAYING AND ALLOW FOR EXPANSION AND CONTRACTION. PROVIDE SUPPLEMENTAL STEEL AS REQUIRED WHERE STRUCTURE CANNOT SUPPORT POINT LOADS.
- 7. ALL EXPOSED PIPING PASSING THROUGH WALLS, FLOORS, CEILINGS, AND PARTITIONS SHALL BE PROVIDED WITH CHROME PLATED CAST BRASS ESCUTCHEONS HELD IN PLACE WITH SET SCREWS.

9. DOMESTIC CW AND HW PIPING SHALL BE COPPER, TYPE L, HARD DRAWN IN ACCORDANCE WITH ASTM B88, AND LEAD-FREE

- 8. ABOVE GRADE SANITARY DRAINAGE AND VENT PIPING: HUBLESS CAST IRON SOIL PIPE AND FITTINGS WITH ANCON FOUNDRY HUSKY SERIES 4000 EXTRA WIDE HEAVY DUTY GASKETED HUBLESS COUPLINGS.
- 10. INSPECTIONS AND TESTS SHALL BE PERFORMED ON THE PIPING INSTALLATION AS REQUIRED BY CODE. 11. PITCH SANITARY DRAINAGE PIPING AT 1/4" PER FT. PITCH DOMESTIC CW, HW, AND VENT PIPING TOWARDS SOURCE.

DOMESTIC AND NON-POTABLE WATER PIPING SYSTEMS

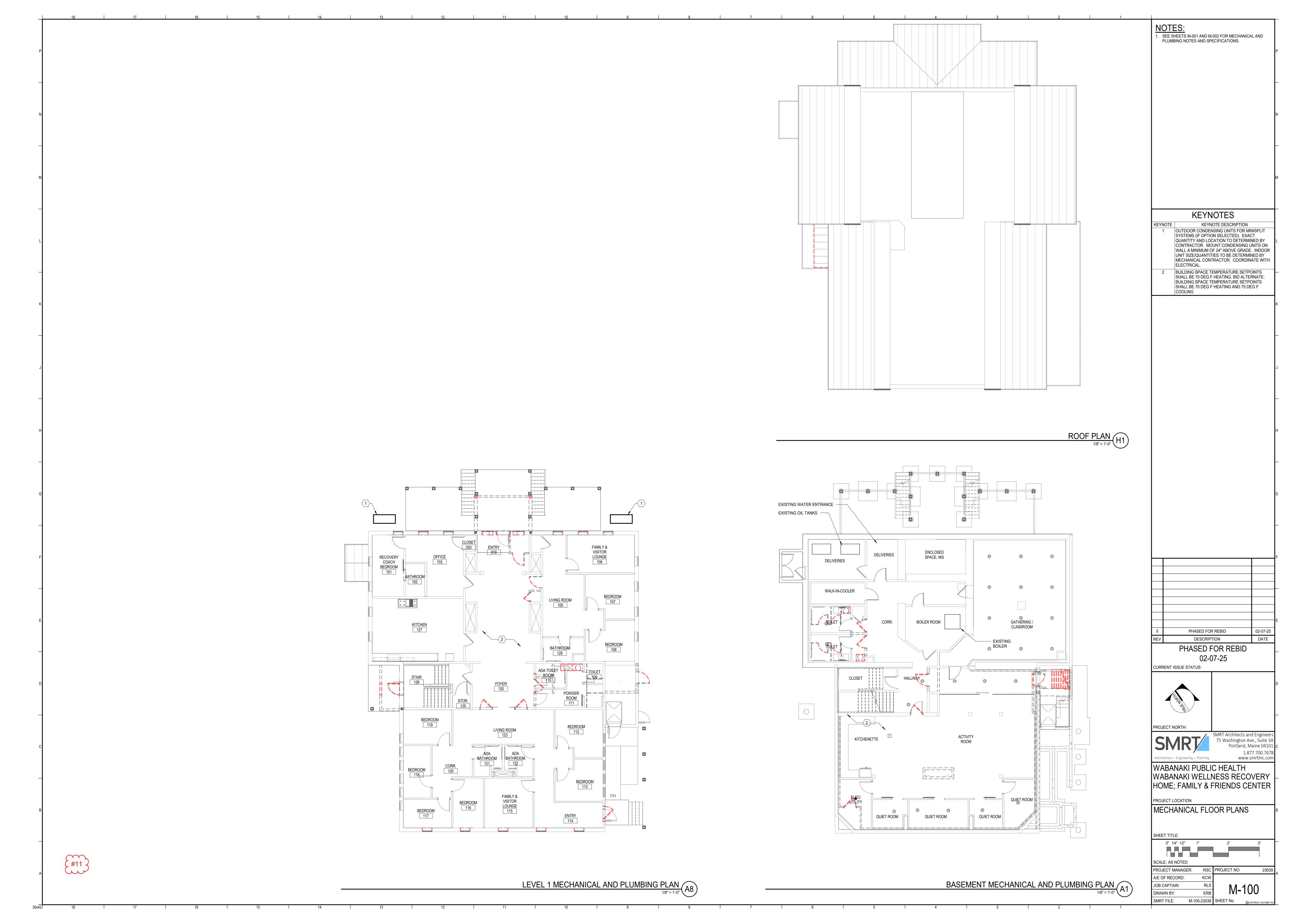
- 1. APPLICABLE SYSTEMS: A. DOMESTIC COLD AND HOT (CW, HW)
- 2. PROVIDE COMPONENTS AND INSTALLATIONS CAPABLE OF PRODUCING PIPING SYSTEMS WITH THE FOLLOWING MINIMUM WORKING PRESSURE RATINGS, UNLESS OTHERWISE NOTED. A. ABOVE GROUND WATER PIPING SYSTEMS: 125 PSIG
- 3. ABOVE GRADE DOMESTIC: HARD DRAWN TYPE L SEAMLESS COPPER TUBING, COPPER FITTINGS AND LEAD-FREE
- SOLDERED JOINTS, OR VIEGA PRO-PRESS FITTINGS.
- 4. WATER PIPING SYSTEM VALVES: BRONZE BODIED VALVES, AS MANF BY HAMMOND, JENKINS, NIBCO. A. SHUT-OFF DUTY: FULL PORT BALL VALVES
- B. DIRECTIONAL DUTY: SWING STYLE CHECK VALVES. C. HIGH-POINT VENTS AND LOW POINT DRAINS: FULL PORT BALL VALVES WITH CAP AND CHAIN. D. THROTTLING DUTY: FIELD ADJUSTABLE CIRCUIT SETTERS.
- 5. WATER PIPING SYSTEM INSULATION: PROVIDE CLOSED CELL ELASTOMER INSULATION ON ABOVE GRADE WATER PIPING A. PIPING UP TO 1-1/4-INCH: 1/2-INCH THICK
- B. PIPING LARGER THAN 1-1/4-INCH: 1-INCH THICK. 6. WATER PIPING SYSTEM TESTING: PRESSURIZE PIPING SYSTEMS TO 1.5 TIMES THEIR WORKING PRESSURE FOR A PERIOD OF 4 HOURS, OR AS DIRECTED BY PLUMBING OFFICIALS. MAKE CORRECTIONS AND RETEST AS NECESSARY. PROVIDE
- TEST REPORTS. WATER PIPING SYSTEM FLUSHING AND CLEANING: FLUSH PIPING SYSTEMS WITH WATER. DISINFECT WITH A WATER -CHLORINE SOLUTION (50 PPM CHLORINE) FOR 24 HOURS, OR AS DIRECTED BY PLUMBING OFFICIALS. FLUSH SYSTEMS AND

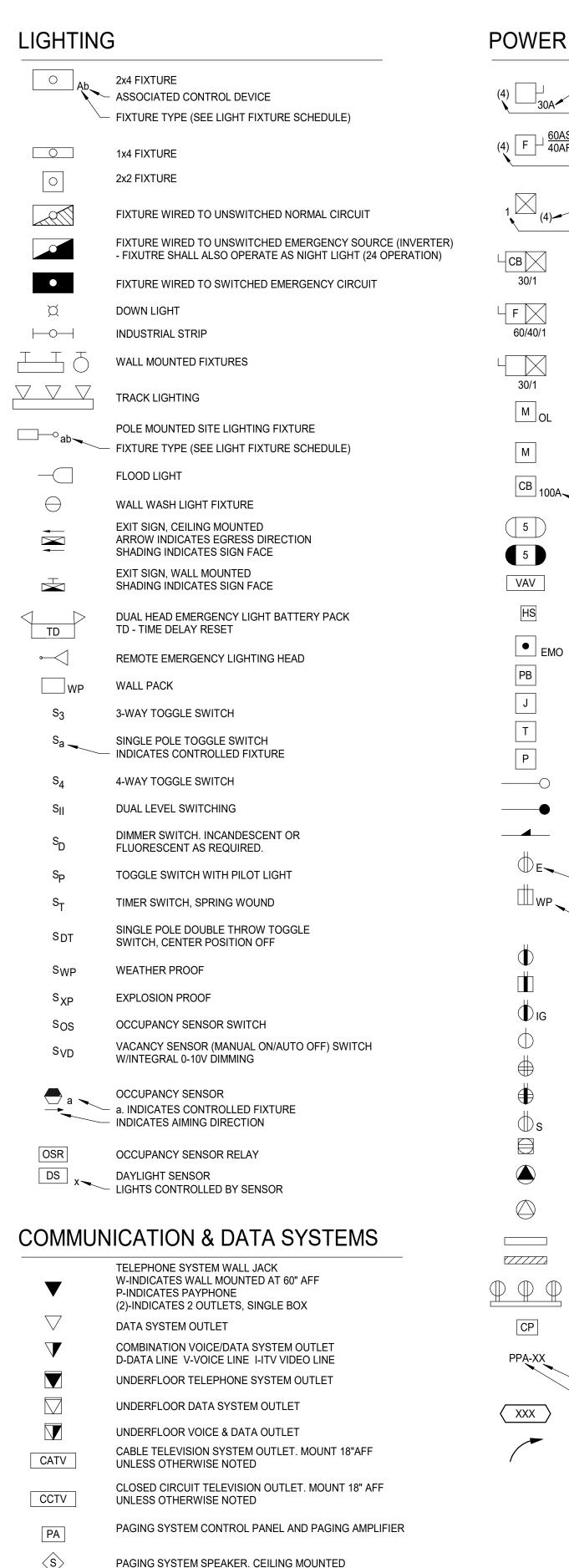
PROVIDE WATER QUALITY REPORTING. SANITARY & STORM DRAINAGE, WASTE AND VENT (DWV) PIPING SYSTEMS

- 1. APPLICABLE SYSTEMS:
- A. SANITARY WASTE AND VENT B. CONDENSATE DRAIN
- PROVIDE COMPONENTS AND INSTALLATIONS CAPABLE OF PRODUCING PIPING SYSTEMS WITH THE FOLLOWING MINIMUM WORKING PRESSURE RATINGS, UNLESS OTHERWISE NOTED.
- A. GRAVITY FLOW DWV PIPING SYSTEMS: 10 FT. HEAD.
- ABOVE GRADE GRAVITY FLOW WASTE AND VENT PIPING SYSTEMS: A. SCHEDULE 40 PVC, GLUE JOINTS
- B. DWV TYPE COPPER WHEN EXPOSED TO RESIDENTS
- . TYPE L COPPER FOR CONDENSATE DRAIN D. PLUMBING FIXTURE P-TRAPS & TAIL PIPES: CHROME PLATED, CAST BRASS.
- 4. PROVIDE TRUBRO LAV GUARD 2 INSULATION AND COVERS ON ALL EXPOSED P-TRAPS, STOPS AND FLEX TO SINKS.

PHASED FOR REBID 02-07-25 DESCRIPTION PHASED FOR REBID **CURRENT ISSUE STATUS:** SMRT Architects and Engine 75 Washington Ave., Suite 34 Portland, Maine 04101 1.877.700.7678 www.smrtinc.com WABANAKI PUBLIC HEALTH WABANAKI WELLNESS RECOVERY HOME: FAMILY & FRIENDS CENTER PROJECT LOCATION MECHANICAL AND PLUMBING **NOTES AND SPECIFICATIONS** SHEET TITLE: RSC PROJECT NO: PROJECT MANAGER:

M-002-23039 SHEET No.





PAGING 31312... 2. ____

1. FLUSH, 2. SURFACE, 3. HORN, 4. DUAL HORN

INTERCOM SYSTEM HAND KEY

INTERCOM SYSTEM HAND SET

CEILING MOUNTED DATA SYSTEM OUTLET

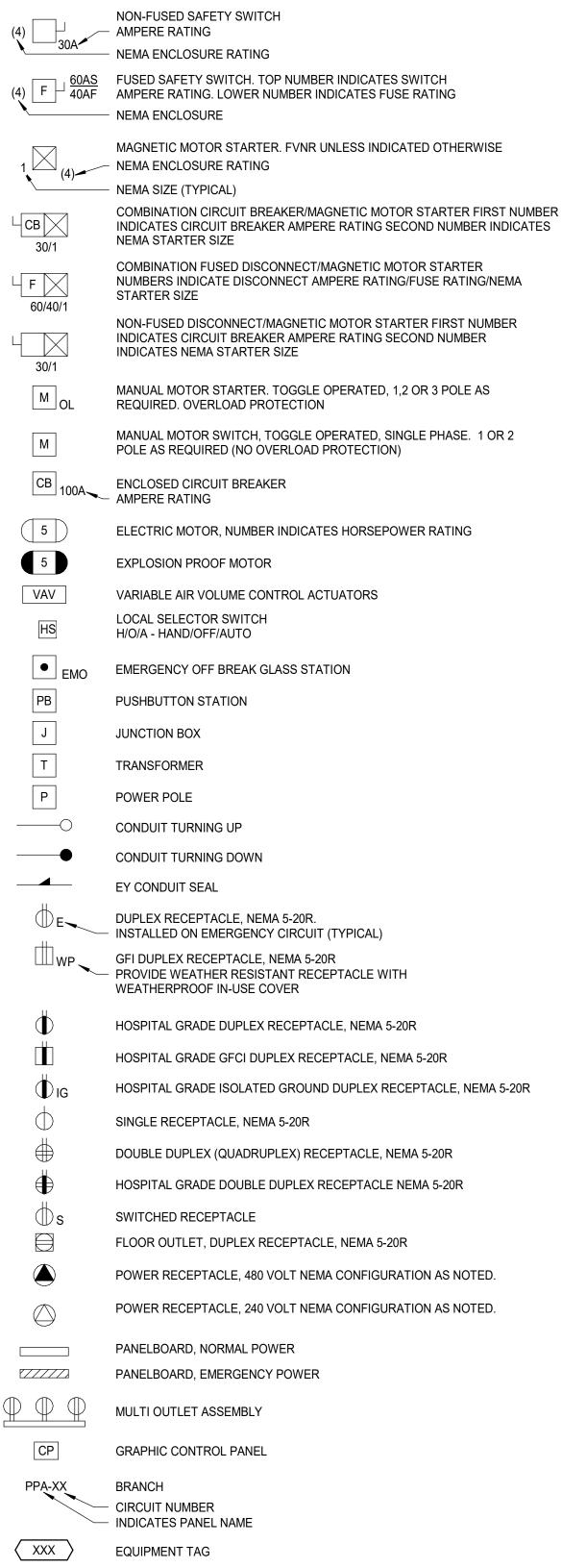
EQUIPMENT MONITORING CONNECTION

WALL MOUNTED CLOCK

VOLUME CONTROL

CLOCK SPEAKER

PAGING SYSTEM SPEAKER. WALL MOUNT AT 7'-6" AFF



HOME RUN TO INDICATED PANEL

FIRE ALARM FACP FIRE ALARM CONTROL PANEL FAA FIRE ALARM ANNUNCIATOR FIRE ALARM MASTER BOX FIRE ALARM MANUAL PULL STATION FIRE ALARM SPEAKER/STROBE UNIT FIRE ALARM AUDIBLE/VISIBLE NOTIFICATION APPLIANCE (GENERAL EVACUATION) FIRE ALARM AUDIBLE/VISIBLE NOTIFICATION APPLIANCE CLEAN ROOM NOTIFICATION (LOCAL) FIRE ALARM VISIBLE ONLY NOTIFICATION APPLIANCE - CANDELA INTENSITY-15/75 UNLESS OTHERWISE NOTED CEILING MOUNTED PHOTOELECTRIC SMOKE DETECTOR. CEILING MOUNTED A — INDICATES AUXILIARY CONTACT. FIXED TEMPERATURE HEAT DETECTOR. CEILING MOUNTED. - INDICATES EQUIPMENT INTERLOCKED WITH THE DETECTOR CLEAN ROOM SMOKE DETECTOR INDICATES EQUIPMENT INTERLOCKED WITH THE SMOKE DETECTOR HEAT DETECTOR. CEILING MOUNTED COMBINATION RATE-OF-RISE/FIXED TEMPERATURE DUCT SMOKE DETECTOR, PHOTOELECTRIC WITH AUXILIARY CONTACT. SPRINKLER SYSTEM FLOW SWITCH SPRINKLER SYSTEM TAMPER SWITCH FIRE ALARM SYSTEM MAGNETIC DOOR HOLDER INTERLOCK RELAY SMOKE DAMPER DUCT SMOKE DETECTOR REMOTE TEST INDICATOR KNOX BOX **SECURITY SYSTEMS** DOOR CONTACT CARD READER CCTV CLOSED CIRCUIT TELEVISION CAMERA ELECTRIC STRIKE MAG LOCK DOOR INTERLOCK SYSTEMS WAVE SENSOR -

ALL DOOR INTERLOCK SYSTEM COMPONENTS SHALL BE PROVIDED BY OWNER SECURITY VENDOR. ALL PATHWAYS AND POWER TO DOOR OPERATORS BY ELECTRICAL CONTRACTOR.

•	GROUND ROD
 	EXOTHERMIC WELD CONNECTION
	BOLTED CONNECTION
——G——	BARE COPPER CONDUCTOR RUN EXPOSED
G	BARE COPPER CONDUCTOR EMBEDDED IN CONCRETE OR BURIED

LINE TYPES

GROUNDING

EXISTING NEW ----- DEMOLITION

GENERAL NOTE

ALL GENERAL NOTES, SYMBOL LISTS, AND DETAILS ARE TO BE CONSIDERED AS APPLICABLE TO ALL ELECTRICAL DRAWINGS FOR THIS PROJECT. SYMBOLS AND ABBREVIATIONS SHOWN ON THIS SHEET ARE FOR REFERENCE ONLY AND DO NOT INDICATE THEIR INCORPORATION IN THE DESIGN.



ABBREVIATIONS

A,AMP AMPERE		LA	LIGHTNING ARRESTER
	NISHED FLOOR	LTG	LIGHTING
AFG ABOVE FINISH		MC	METAL CLAD
	TY HAVING JURISDICTION	MCB	MAIN CIRCUIT BREAKER
AIC AMPEDE INTE	DDI IDTING CADACITY	_	MANUFACTURER
AWG AMERICAN WI	RE GAUGE	MI	MINERAL INSULATED
BFG BELOW FINISH	HED GRADE		MAIN LUG ONLY
BOS BOTTOM OF S	STEEL		MOUNTED
C CONDUIT, CO	NDUCTOR	MV	MEDIUM VOLTAGE
CATV CABLE TELEV	ISION	NC	NORMALLY CLOSED
CB CIRCUIT BREA	AKER	NEC	NATIONAL ELECTRICAL CODE
CCTV CLOSED CIRC	IRE GAUGE HED GRADE STEEL NDUCTOR ISION AKER SUIT TELEVISION WER TRANSFORMER	NEG	NEGATIVE
CPT CONTROL PO	WER TRANSFORMER	NEUT	NEUTRAL
CT CURRENT TRA	ANSFORMER	NIC	NOT IN CONTRACT
CU COPPER		NO	NORMALLY OPEN
	M COMMUNICATOR TRANSMITTER		NOT TO SCALE
DB DIRECT BURIE		PF	POWER FACTOR
DISC DISCONNECT		PH	PHASE
DN DOWN		PVC	POLYVINYL CHLORIDE
	METALLIC TUBING	RGS	RIGID STEEL CONDUIT
EWC ELECTRIC WA		RSC	RIGID STEEL CONDUIT
	NNUNCIATOR	RTD	
FACP FIRE ALARM C		SN	SOLID NEUTRAL
FBO FURNISHED B	YOTHERS	STP	
FU FUSE	WITH FOURDMENT	STT	
FWE FURNISHED W	VITH EQUIPMENT		SWITCHBOARD
GEN GENERATOR	LT CIDCUIT DDE AVED		SWITCHGEAR
GND GROUND FAU	LT CIRCUIT BREAKER		TOP OF STEEL SF TRANSFORMER
HP HORSEPOWE	B		TRANSFORMER TRANSIENT VOLTAGE SURGE SUPPRESSER
HTR HEATER	N.	1 V S S	VOLT
IG ISOLATED GR	OLIND	V VA	VOLT-AMPERE
	DIATE METAL CONDUIT	VAR	
K KILO	NATE WEITHE GOINDON		WATT METER
KCMIL THOUSAND C	IRCULAR MILS	WP	WEATHER PROOF
KV KILOVOLT			TRANSFORMER
KVA KILOVOLT-AM	PERE	XP	EXPLOSION PROOF
KVAR KILOVOLT-AM			
KW KILOWATT			
KWH KILOWATT-HO	DUR		

ELECTRICAL DEMOLITION NOTES:

- . WIRING FOR ALL EXISTING BRANCH CIRCUITS DEVICES TO BE DEMOLISHED AND NOT REUSED SHALL BE REMOVED BACK TO THE PANELBOARD. THE ASSOCIATED CIRCUIT BREAKER SHALL BE TURNED OFF AND MARKED AS SPARE IN THE PANELBOARD DIRECTORY. DO NOT ABANDON BRANCH CIRCUIT WIRING ABOVE
- 2. ALL EXPOSED RACEWAYS AND CABLES IN FINISHED SPACES, NO LONGER IN USE, SHALL BE REMOVED.
- 3. MAINTAIN, OR RESTORE IF INTERRUPTED BY REMOVALS, OR IN PATH OF NEW CONSTRUCTION, ALL CONDUITS, BRANCH CIRCUITS, AND FEEDERS PASSING THROUGH AND SERVICE UNDISTURBED AREAS (SHOWN OR NOT
- 4. ALL EXISTING CONDUITS STUBBED THROUGH FLOORS OR ROOF, SERVING ITEMS TO BE REMOVED (SHOWN OR NOT SHOWN), AND NOT REQUIRED TO BE REUSED, SHALL BE CUT OFF FLUSH WITH SLAB OR ROOF DECK AND
- 5. IN ANY AREA REQUIRING THE PERFORMANCE OF ANY TRADE'S WORK, ALL ELECTRICAL ITEMS WITHIN PATH OF WORK SHALL BE CAREFULL REMOVED AND STORED. ITEMS SHALL BE REINSTALLED AND RECONNECTED AS REQUIRED TO RESTORE SYSTEM COMPONENTS, IN ACCORDANCE WITH PLANS, AND/OR AS DIRECTED AFTER COMPLETION OF OTHER TRADES' WORK IN THAT AREA.
- 6. ALL EXISTING FIXTURES AND ELECTRICAL DEVICES TO REMOVED, AND NOT RELOCATED, SHALL BE TURNED OVER TO THE OWNER. IF THE OWNER DECIDES THEY DO NOT WISH TO KEEP REMOVED ITEM, IT IS THE RESPONSIBILITY OF THE EC TO REMOVE FROM SITE.

GENERAL ELECTRICAL NOTES:

- 1. ALL WORK SHALL BE INSTALLED IN A NEAT AND WORKMAN LIKE MANNER, RECTLINEAR TO BUILDING STRUCTURE AND IN ACCORDANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO NFPA 70, NFPA 90A, NFPA 101, AND THE AUTHORITY HAVING JURISDICTION.
- 2. CONTRACTOR SHALL REVIEW ALL TRADES CONTRACT DOCUMENTS AND FIELD VERIFY TO DETERMINE SPECIFIC MOUNTING LOCATIONS FOR ELECTRICAL EQUIPMENT AND CONDUITS.
- 3. COORDINATE ARRANGEMENTS, MOUNTING, AND SUPPORT OF ELECTRICAL CONDUIT AND EQUIPMENT TO PROVIDE FOR EASE OF DISCONNECTING THE EQUIPMENT WITH MINIMUM INTERFERENCE TO OTHER INSTALLATION, TO ALLOW RIGHT OF WAY FOR PIPING INSTALLED AT A REQUIRED SLOPE, AND SO CONNECTING RACEWAYS SHALL BE
- 4. UNLESS OTHERWISE NOTED, CONVEINENCE RECEPTACLES AND DATA SYSEM OUTLETS SHALL BE MOUNTED AT 18-INCHES AFF, LIGHTING CONTROL DEVICES SHALL BE MOUNTED AT 48-INCHES AFF AND FIRE ALARM NOTIFICATION

CLEAR OF OBSTRUCTIONS AND OF THE WORKING AND ACCESS SPACE OF OTHER EQUIPMENT.

- DEVICES SHALL BE MOUNTED AT 80-INCHES AFF OR 6-INCHES BELOW CEILING, WHICHEVER IS LOWER. 5. ALL PENTRATIONS THROUGH FLOORS, RATED WALLS, AND PARITIONS SHALL BE SEALED WITH UL APPROVED FIRE
- SEALANT MATERIAL TO MAINTAIN THE RATING OF THE SEPARATION. 6. DEVICES SHALL NOT BE INSTALLED BACK-TO-BACK IN ADJACENT ROOMS. ADJUST LOCATIONS AS NECESSARY TO
- 7. ALL ENCLOSURES, CONDUIT BODIES, AND THEIR COVERS CONTAINING FIRE ALARM SYSTEM CONDUCTORS SHALL
- 8. UNLESS OTHER NOTED, WIRING SHALL BE (2) #12 AWG CONDUCTORS AND #12 GND. HOME RUMS FED FROM 20A-1P CIRCUITS IN EXCESS OF 100 FEET SHALL BE INCREASED TO A MINUMUM OF CONDUCTOR SIZE OF #10 AWG. RUN A SEPARATE NEUTRAL WIRE FOR EACH DEDICATED BRANCH CIRCUIT INDICATED ON THE PLANS.
- 9. AN EQUIPMENT GROUNDING CONDUCTOR SHALL BE INSTALLED WITH EVERY FEEDER AND BRANCH CIRCUIT.
- 10. FLEXIBLE CONNECTIONS TO MOTORS SHALL BE LIQUID TIGHT FLEXIBLE METAL CONDUIT, UNLESS NOTED
- 11. ALL CONVEINCE RECEPTACLES SHALL BE COMMERICAL SPECIFICATION GRADE, GROUNDING, TYPE NEMA 5-20R, SIDE WIRED. DEVICE COLORS AND ASSOCIATED FACEPLATES SHALL MATCH EXISTING FINISH COLOR.
- 12. ALL DEVICES SHALL BE LABELED WITH CIRCUIT NUMBER.
- 13. OCCUPANCY SENSORS SHALL BE DUAL TECHNOLOGY, HARDWIRED WITH POWER PACK AND MINIMUM COVERAGE OF 1.000 SQ FT. PROVIDE (1) OCCUPANCY SENSOR FOR EVERY 800 SQ FT. ARRANGE SO NO AREA OF ROOM IS WITHOUT COVERAGE. PROVIDE ADDITIONAL OCCUPANCY SENSORS AS REQUIRED TO ACHIEVE COVERAGE AS INDICATED. PROVIDE MANUAL ON/OFF CONTROL AT EACH SPACE ENTRANCE.
- 14. ALL WIRING SHALL BE 600V, COPPER WITH THHN/THWN INSULATION.
- 15. COORDINATE FINAL LOCATION OF FIXTURE AND DEVICES WITH ARCHITECTURAL ELEVATIONS.
- 16. COORDINATE W/ CONTROLS CONTRACTOR TO PROVIDE POWER FOR ALL MISCELLANEOUS CONTROL OPERATORS
- 17. PROVIDE 3/8" NYLON PULL STRING IN ALL EMPTY SERVICE RACEWAYS.

02-07-25 PHASED FOR REBID DESCRIPTION PHASED FOR REBID 02-07-25 CURRENT ISSUE STATUS: SMRT Architects and Enginee 75 Washington Ave., Suite 34 Portland, Maine 04104 1.877.700.767 www.smrtinc.con chitecture • Engineering • Planning WABANAKI PUBLIC HEALTH WABANAKI WELLNESS RECOVERY HOME; FAMILY & FRIENDS CENTER 40 OXFORD ST, MILLINOCKET, MAINE LEGEND AND GENERAL NOTES SHEET TITLE:

RSC PROJECT NO:

E-001-23039 SHEET No. ©COPYRIGHT 2018 SMF

PROJECT MANAGER:

GENERAL ELECTRICAL

1. ALL ELECTRICAL WORK SHALL IN PERFORMED IN ACCORDANCE TO RULES, REGULATIONS, STANDARDS, CODES, ORDINANCES, AND LAWS OF LOCAL, STATE, AND FEDERAL GOVERNMENTS, AND

2. MATERIALS AND EQUIPMENT SHALL BE MANUFACTURED, INSTALLED, AND TESTED AS SPECIFIED IN LATEST EDITIONS OF PUBLICATIONS, STANDARDS, RULINGS, AND CODES. ALL MATERIAL AND EQUIPMENT SHALL BE LISTED BY UNDERWRITERS LABORATORIES (UL), AND APPROVED FOR INTENDED SERVICE.

3. PROVIDE SUBMITTALS, INCLUDING PRODUCT DATA AND WIRING DIAGRAMS, FOR ALL SECTIONS LISTED BELOW

4. THE INTENTION OF THESE CONTRACT DOCUMENT IS TO CALL FOR FINISHED WORK, FULLY TESTED, AND READY OF OPERATION. ANY COMPONENTS OR LABOR NOT SHOWN ON DRAWINGS BUT REQUIRED FOR FUNCTIONING SYSTEM SHALL BE PROVIDED.

5. THE LISTING OF ELECTRICAL DRAWINGS DOES NOT LIMIT RESPONSIBILITY OF DETERMINING THE FULL EXTENT OF WORK REQUIRED BY CONTRACT DOCUMENTS. THE ELECTRICAL CONTRACTOR SHALL REFER TO ARCHITECTURAL, PLUMBING, HVAC, STRUCTURAL, AND OTHER DRAWINGS AND SECTIONS THAT INDICATE TYPES OF CONSTRUCTION WITH WHICH WORK MUST BE COORDINATED. ELECTRICAL CONTRACTOR SHALL CHECK WITH THE GENERAL CONTRACTOR AND OTHER TRADES TO DETERMINE WHETHER THERE WILL BE ANY INTERFERENCE BY SUCH TRADES WITH THE ELECTRICAL WORK. IF THE ELECTRICAL CONTRACTOR FAILS TO CHECK WITH THE GENERAL CONTRACTOR AND THE ELECTRICAL WORK IS LATER FOUND TO INTERFERE WITH OTHER WORK, THE ELECTRICAL CONTRACTOR SHALL MAKE NECESSARY CHANGES, WITHOUT ADDITIONAL COST TO THE OWNER, TO ELIMINATE SUCH INTERFERENCE.

6. WHEN REQUIREMENTS CITED IN THIS PARAGRAPH CONFLICT WITH EACH OTHER OR WITH CONTRACT DOCUMENTS, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN CONDUCT OF WORK.

LOW VOLTAGE CONDUCTORS

- ALL CONDUCTOR INSULATION SHALL BE RATED 600V.
- 2. MOTOR BRANCH CIRCUITS SHALL BE TYPE XHHW-2 IN A METALLIC RACEWAY. CONDUCTOR SHALL BE STRANDED WITH A MINIMUM SIZE #14 AWG.
- 3. ALL LIGHTING AND CONVENIENCE RECEPTACLE BRANCH CIRCUITS SHALL BE TYPE THHN/THWN IN METALLIC RACEWAY OR TYPE MC CABLE, AS ALLOWED BY CODE. BRANCH CIRCUIT WIRING SHALL BE SOLID OR STRANDED, MINIMUM SIZE #12 AWG.
- 4. CONTROL WIRING SHALL BE THHN/THWN IN METALLIC RACEWAY. CONDUCTOR SHALL BE STRANDED WITH A MINIMUM SIZE #14 AWG.

GROUNDING AND BONDING

- 1. ALL PRODUCTS SHALL BE UL 467 LISTED.
- 2. BARE GROUNDING CONDUCTOR SHALL BE SOFT DRAWN STRANDED COPPER, SIZED IN ACCORDANCE WITH NEC ARTICLE 250, UNLESS OTHER NOTED ON DRAWINGS.
- 3. INSULATED GROUNDING CONDUCTOR SHALL BE STRANDED COPPER WITH TYPE TW, THW, OR THHN/THWN INSULATION COLORED GREEN.
- 4. A SEPARATE INSULATED GREEN COPPER CONDUCTOR SHALL BE INSTALLED AS AN EQUIPMENT GROUNDING CONDUCTOR IN ALL RACEWAY AND WITH EVERY BRANCH CIRCUIT AND CONTROL CIRCUIT. THIS SHALL BE IN ADDITION TO THE GROUNDED METALLIC CONDUIT SYSTEM.
- 5. ALL CONNECTIONS TO BUILDING STEEL SHALL BE EXOTHERMIC WELD. CONNECTIONS TO EQUIPMENT GROUND BUSSES OR PADS SHALL BE COMPRESSIONS TYPE LUGS, BOLTED TO THE BUS OR

RACEWAYS AND BOXES

- 1. INDOORS: APPLY RACEWAY PRODUCTS AS SPECIFIED BELOW UNLESS NOTED OTHERWISE ON DRAWINGS:
 - 1.1. EXPOSED, NOT SUBJECT TO PHYSICAL DAMAGE: EMT.
 - 1.2. CONCEALED IN CEILINGS AND INTERIOR WALLS AND PARTITIONS: MC CABLE. 1.3. CONNECTION TO VIBRATING EQUIPMENT: FMC, EXCEPT USE LFMC IN DAMP OR WET LOCATIONS.
- 1.4. BOXES AND ENCLOSURES: NEMA 250, TYPE 1.
- 2. MINIMUM RACEWAY SIZE: 3/4"-TRADE SIZE 3. RACEWAY FITTINGS: COMPATIBLE WITH RACEWAYS AND SUITABLE FOR USE AND LOCATION.
 - 3.1. EMT: USE SETSCREW OR COMPRESSIONS, STEEL FITTINGS. COMPLY WITH NEMA FB2.10. 3.2. FLEXIBLE CONDUIT: USE ONLY FITTINGS LISTED FOR USE WITH FLEXIBLE CONDUIT. COMPLY WITH NEMA FB 2.20.

CONDUCTOR TERMINATIONS

- 1. SPLICES AND TAPS IN LIGHTING AND BRANCH CIRCUIT WIRING SHALL BE 3M SCOTCHLOK SPRING CONNECTIONS OR EQUAL
- 2. TERMINATL LUGS, CONNECTORS, AND SPLICES SHALL BE TIN PLATED, HIGH CONDUCTIVITY COPPER COMPRESSION TYPE. THEY SHALL HAVE CHAMFERED BARRELS AND BE PERMANENTLY IDENTIFIED WITH CONDUCTOR SIZES.
- 3. SPLICES SHALL BE LONG BARREL BUTT TYPE WITH A CENTER STOP IN THE SPLICE BARREL.
- 4. FOR NON-JACKETED METAL CLAD CABLE IN DRY LOCATIONS, CABLE TERMINATIONS SHALL BE OZ GEDNEY TYPE PK FOR USE WITH GALVANIZED STEEL ARMOR OR TYPE PK-A FOR USE WITH ALUMINUM ARMOR. CABLE TERMINATIONS SHALL BE PROVIDED WITH LOCKNUTS AND BUSHINGS.

<u>IDENTIFICATION</u>

1. ALL POWER WIRING CONDUCTORS SHALL BE COLOR CODED AS FOLLOWS:

208Y/120V PHASE 480Y/277V PHASE A BLACK BROWN PHASE B RED ORANGE

PHASE C BLUE YELLOW NEUTRAL WHITE

GROUND GREEN

2. ALL PANELBOARDS WITH LOADS MODIFIED BY THIS PROJECT SHALL BE PROVIDED WITH REVISED, TYPEWRITTEN PANELBOARD DIRECTORIES

1. VACANCY SENSORS SHALL DUAL-TECHNOLOGY (PIR AND ULTRASONIC) TYPE WITH MANUAL ON/AUTOMATIC OFF OPERATION.

3. ALL JUNCTION BOXES SHALL BE LABELED WITH CIRCUIT INFORMATION.

LIGHTING CONTROL DEVICES

1.1. DETECTION COVERAGE: DETECT OCCUPANCY WITHIN A 180-DEGREE PATTERN CENTERED ON THE SENSOR OVER AN AREA OF 900 SQUARE FEET.

1.2. ADAPTIVE TECHNOLOGY: SENSOR SHALL HAVE SELF-ADJUSTING CIRCUITRY TO DETECT AND MEMORIZES USAGE PATTERNS OF THE SPACE TO HELP ELIMINATE FALSE "OFF" SWITCHING. 1.3. WHERE INDICATED ON THE DRAWINGS, 0-10V DIMMING SHALL BE PROVIDED INTEGRAL TO VACANCY SENSOR. BASIS OF DESIGN SHALL BE WATTSTOPPER, CAT. NO. DW-311.

WIRING DEVICES

- 1. RECEPTACLES SHALL BE SPECIFICATION GRADE, 125V, 20A RATED DUPLEX RECEPTACLE. RECEPTACLE SHALL COMPLY WITH NEMA WD 6, CONFIGURATION 5-20R.
- 2. SPECIFICATION GRADE, GFCI RECEPTACLES SHALL BE INSTALLED WITHIN 6 FEET OF ANY WATER SOURCE. GFCI RECEPTACLES SHALL BE SELF-TESTING TYPE.
- 3. WIRING DEVICE COLOR SHALL COORDINATED WITH OWNER AND ARCHITECT.

INTERIOR LIGHTING

- 1. SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE LIGHT FIXTURES AS SPECIFIED ON DRAWINGS OR COMPARABLE PRODUCT BY ANOTHER MANUFACTURER.
- 2. LIGHT FIXTURES SHALL BE PROVIDED WITH HOUSINGS, TRIMS, DRIVERS, REFLECTORS, WIRING, AND ALL OTHER COMPONENTS REQUIRED FOR A COMPLETE INSTALLATION.
- 3. LED FIXUTRES
- 3.1. LEDS INSTALLED WITHIN SAME FIXTURE SHALL COLOR MATCHED UTILIZING A 3-STEP MACADAM ELLIPSE STANDARD OR BETTER. 3.2. PROVIDE KELVIN COLOR TEMPERATURE AS SPECIFIED IN THE FIXTURE SCHEDULE. IF FIXTURE CATALOG NUMBER DOES NOT SPECIFY, STANDARD COLOR TEMPERATURE SHALL BE
- 4. LED DRIVERS: PROVIDE LOW ENERGY SOLID STATE DRIVERS WITH THE FOLLOWING FEATURES:
 - 4.1. UL CLASS 2 RATED 4.2. SURGE PROTECTION FROM AC LINE SIDE SURGES
 - 4.3. AC LINE ISOLATION 4.4. CONSTANT CURRENT DRIVERS BASED ON THE FIXTURES LISTED IN THE SCHEDULE.
 - 4.5. ANALOG (0-10V) DIMMING. 4.6. MODULE TEMPÉRATURE PROTECTION.
- 5. COORDINATE LIGHT FIXTURE INSTALLATION WITH OTHER TRADES. ALL LIGHTING SHALL BE COORDINATED WITH MECHANICAL PIPING AND DUCTWORK TO ALLOW FOR PROPER CLEARANCE.
- 6. LUMINAIRES INSTALLED IN SUSPENDED CEILING SHALL BE INDEPENDENTLY SUPPORTED, DIRECTLY FROM BUILDING STRUCTURE. EACH LUMINAIRE SHALL BE SUPPORTED AT EACH END.

GENERAL COMMUNICATIONS

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL HORIZONTAL AND BACKBONE CABLING, ASSOCIATED HARDWARE AND DEVICES, TERMINATIONS, GROUNDING AND BONDING MATERIALS, ETC AS NOTED ON DRAWINGS, IN SPECIFICATIONS, OR AS NEEDED FOR COMPLETE SYSTEM INSTALLATION.
- 2. CONTRACTOR SHALL TEST ALL COMPONENTS OF INSTALLATION SYSTEM TO ENSURE COMPLIANCE WITH TRANSMISSION STANDARDS OF TIA-568-C.2.
- 3. ENSURE PROPER SEPARATION OF ALL TELECOMMUNICATION CABLES FROM EMI SOURCES. REQUIRED SEPARATION DISTANCES SHALL BE IN COMPLIANCE WITH RECOMMENDATIONS IN BICSI'S "TELECOMMUNICATIONS DISTRIBUTION METHODS MANUAL" AND TIA-569-D.

COMMUNICATION GROUND AND BONDING

- 1. EACH DEDICATED DATA EQUIPMENT SPACE SHALL BE PROVIDE WITH TELECOMMUNICATION GROUNDING BUSBAR. BUSBAR SHALL BE PREDRILLED RECTANGULAR COPPER BAR, 1/4 BY 2 INCHES IN CROSS SECTION. THE BUSBAR SHALL BE FOR WALL MOUNTING, SHALL BE NRTL LISTED AS COMPLYING WITH UL 467, AND SHALL COMPLY WITH TIA-607-B. 1.1. PROVIDE STAND-OFF BRACKETS THAT PROVIDE AT LEAST A 2-INCH CLEARANCE TO ACCESS THE REAR OF THE BUSBAR. BRACKETS AND ASSOCIATED BOLTS SHALL BE STAINLESS
- 2. ALL CONNECTIONS SHALL BE IRREVERSIBLE AND LISTED FOR THE PURPOSE.
- 3. BONDING CONDUCTORS BETWEEN THE TGB AND STRUCTURAL STEEL SHALL NO SMALLER THAN NO. 6 AWG.
- 4. ALL GROUNDING AND BONDING CONNECTIONS SHALL BE MADE IN COMPLIANCE WITH NEC, NECA 1, AND TIA 607-B.
- 5. ONCE GROUNDING AND BONDING SYSTEM HAS BEEN INSTALLED, TEST THE BONDING CONNECTIONS OF THE SYSTEM AND GROUND LOOP CURRENTS. IF THE RESISTANCE TO GROUND AT THE BCT (BONDING CONDUCTOR FOR TELECOMMUNICATIONS) EXCEEDS 5 OHMS, NOTIFY ENGINEER PROMPTLY AND INCLUDE RECOMMENDATIONS TO REDUCE GROUND RESISTANCE.

COPPER HORIZONTAL CABLING

1. HORIZONTAL CABLING SYSTEM SHALL COMPLY WITH TRANSMISSION STANDARD IN TIA-568-C.1.

2. PROVIDE COPPER HORIZONTAL CABLING WITH THE FOLLOWING PROPERTIES: 2.1. DESCRIPTION: CATEGORY 6 - FOUR-PAIR, BALANCED TWISTED PAIR CABLE, CERTIFIED TO MEET TRANSMISSION CHARACTERISTICS OF CATEGORY 6 CABLES AT FREQUENCIES UP TO

2.2. CONDUCTOR: 100-OHM, 23 AWG SOLID COPPER. 2.3. SHIELDING/SCREENING: UNSHIELDED TWISTED PAIR (UTP) 2.4. JACKET COLOR: COORDINATE WITH OWNER

2.5. ROHS COMPLIANT. 2.6. PLENUM RATED; LISTED AND LABELED BY NRTL AS COMPLYING WITH UL 444, UL 1651, AND NFPA 70.

3. TWISTED PAIR CABLE HARDWARE

3.1. PROVIDE 19" WALL-MOUNTED, 48-PORT, CATEGORY 6 PATCH PANELS. PANELS SHALL BE MODULAR TYPE, HOUSING NUMBERED JACK UNITS WITH IDC-TYPE CONNECTORS AT EACH JACK LOCATION FOR PERMANENT TERMINATION OF PAIR GROUPS OF INSTALLED CABLES. 3.1.1. NUMBER OF CONNECTORS PER FIELD: ONE FOR EACH FOUR-PAIR CABLE INDICATED, PLUS 25% SPARES.

3.2. JACKS: FEMALE, EIGHT POSITION; FIXED TELECOMMUNICATIONS CONNECTOR DESIGNED FOR TERMINATION OF A SINGLE FOUR-PAIR, 100-OHM, UNSHIELDED OR SHIELDED TWISTED PAIR CABLE, COMPLYING WITH TIA-568-C.2. 5. TELECOMMUNICATION OUTLETS:

5.1. JACKS: 100-OHM, BALANCED, TWISTED-PAIR CONNECTOR; FOUR-PAIR, EIGHT-POSITION MODULAR, COMPLYING WITH TIA/EIA-568-B.1.

6. WIRELESS ACCESS POINTS: PROVIDE TWO DATA JACKS TO EACH LOCATION NOTED ON THE DRAWINGS.

7. COMPLY WITH TIA-607-B FOR HORIZONTAL CABLE GROUNDING REQUIREMENTS. 8. COMPLY WITH TIA-606-B AND UL 969 FOR BACKBONE LABELING REQUIREMENTS. COORDINATE ADMINISTRATION LABELS WITH OWNER.

9. FACTORY TEST TWISTED PAIR CABLES ACCORDING TO TIA-568-C.2.

10. INSTALLATION OF OPTICAL FIBER BACKBONE SHALL COMPLY WITH NECA 1, NECA/BICSI 568, TIA-568-C.0, TIA-568-C.1, AND TIA-568-C.2. INSTALLATION SHALL ALSO COMPLY WITH BICSI ITSIMM, CH. 5, "CABLE TERMINATION PRACTICES."

FIRE ALARM SYSTEM

1. PROVIDE NEW, ADDRESSABLE TYPE FIRE ALARM SYSTEM. FIRE ALARM CONTROL PANEL SHALL BE LOCATED AT MAIN ENTRANCE TO BE UTILIZED BY FIRE DEPARTMENT. SYSTEM SHALL INCLUDE MANUAL AND AUTOMATIC DETECTION CONSISTING OF SMOKE AND HEAT DETECTORS, CARBON MONOXIDE SENSORS, AND MANUAL PULL STATIONS. NOTIFICATION TO OCCUPANTS SHALL BE COMPRISED OF HORN/STROBE DEVICES IN NORMALLY OCCUPIED AREAS WITH THE EXCEPTION OF INDIVIDUAL TOILETS, WHICH SHALL BE PROVIDED WITH VISUAL ONLY (STROBE) DEVICES. THE SYSTEM SHALL BE PROVIDED WITH BATTERY BACKUP AND CHARGER. FIRE ALARM SYSTEM SHALL BE IN ACCORDANCE WITH NFPA 72, 101, AND THE STATE FIRE MARSHAL'S OFFICE.

2. NEW NOTIFICATION DEVICES: INDIVIDUALLY ADDRESSABLE, CONNECTED TO A SIGNALING-LINE CIRCUIT, EQUIPPED FOR MOUNTING AS INDICATED, AND WITH SCREW TERMINALS FOR SYSTEM CONNECTIONS.

2.1. NOTIFICATIONS UNITS SHALL BE HORN/STROBE, ELECTRIC-VIBRATING- POLARIZED TYPE WITH XENON STROBE LIGHTS, COMPLYING WITH UL 464 AND 1971. HORNS SHALL PRODUCE A SOUND PRESSURE LEVEL OF 90DBA, MEASURED 10 FEET FROM THE HORN. STROBES SHALL HAVE A LIGHT OUTPUT AS NOTED ON DRAWINGS. 2.2. HORN/STROBE UNITS SHALL HAVE THE WORD "FIRE' ENGRAVED ON HOUSING IN MINIMUM 1-INCH-HIGH LETTERS. 2.3. HORN/STROBE UNITS SHALL BE WHITE WHEN INSTALLED ON CEILING AND RED WHEN INSTALLED ON WALL. 2.4. HORN/STROBE UNITS INSTALLED WITHIN SLEEPING QUARTERS SHALL BE LOW FREQUENCY TYPE.

3. SMOKE DETECTORS: INDIVIDUALLY ADDRESSBLE VIA INTEGRAL ADDRESSABLE MODULE, FOUR-WIRE TYPE.

5.PROVIDE RECORD OF FIRE ALARM SYSTEM INSPECTION AND TESTING AS REQUIRED BY NFPA 72.

3.1. DETECTOR AND ASSOCIATED ELECTRONIC COMPONENTS MUST BE MOUNTED IN TWIST-LOCK MODULE THAT CONNECTS TO FIXED BASE. 3.2. DETECTOR SHALL HAVE INTEGRAL VISUAL-INDICATING LED LIGHT INDICATING DETECTOR HAS OPERATED AND POWER-ON STATUS. 3.3. DETECTORS SHALL BE INSTALLED IN ALL BEDROOMS AND LIVING AREAS IN ACCORDANCE WITH NFPA 101.

4. CARBON MONOXIDE DETECTORS: LISTED FOR CONNECTION TO FIRE ALARM SYSTEM. 4.1. DETECTORS SHALL BE INSTALLED IN ALL BEDROOMS AND ANY OTHER AREAS WITH FUEL BURNING EQUIPMENT IN ACCORDANCE WITH NFPA 101.

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WABANAKI PUBLIC HEALTH WABANAKI WELLNESS RECOVERY HOME; FAMILY & FRIENDS CENTER

40 OXFORD ST, MILLINOCKET, MAINE **ELECTRICAL SPECIFICATIONS**

SHEET TITLE: 0" 1/4" 1/2" 1" 2"

PROJECT MANAGER: RSC PROJECT NO:

E-002-23039 SHEET No. SMRT FILE:

