

ALT#1 - NOT USED; PROVIDE BASE BID ONLY

ALT#2 - NOT USED; TEMPORARY PARTITION THIS LOCATION

ALT#3 - NOT USED; PROVIDE BASE BID ONLY

THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT BETWEEN OWNER AND CONTRACTOR, CONDITIONS OF THE CONTRACT, DRAWINGS, SPECIFICATIONS, AGENDA ISSUED PRIOR TO THE EXECUTION OF THE CONTRACT AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE CONTRACT.

THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY ALL.

MECHANICAL, ELECTRICAL, AND PLUMBING ARE TO BE DESIGN-BUILD IN ACCORDANCE WITH THE BASIS OF DESIGN FOR THOSE ITEMS NOTED ON DRAWINGS, AND IN COMPLIANCE WITH PERFORMANCE SPECIFICATIONS.

THE WORK INCLUDES ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES PROVIDED BY THE CONTRACTOR TO FULFILL THE OBLIGATIONS DESCRIBED IN THE CONTRACT DOCUMENTS AND AS REASONABLY INFERRABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INDICATED RESULTS.

EXECUTION OF THE CONTRACT BY THE CONTRACTOR IS A REPRESENTATION THAT THE CONTRACTOR HAS VISITED THE SITE, BECOME GENERALLY FAMILIAR WITH THE LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED, AND CORRELATED PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS.

THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SHALL NOT BE RELIEVED OF ITS OBLIGATIONS TO PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS EITHER BY ACTIVITIES OR DUTIES OF THE ARCHITECT IN THE ARCHITECT'S ADMINISTRATION OF THE CONTRACT.

DIVISION 01 - GENERAL REQUIREMENTS

ALTERNATES

- ALTERNATE 01: WHEELCHAIR LIFT
 - A. BASE BID: PROVIDE POWER AND CLEARANCES FOR WHEELCHAIR LIFT
 - B. ALTERNATE: PROVIDE POWER EQUIPMENT & INSTALL WHEELCHAIR LIFT - BASIS OF DESIGN: CLARITY SERIES BY ASCENSION <https://ascension-lift.com/wheelchair-lifts/>
- ALTERNATE 02: ACTIVITY ROOM DIVIDER
 - A. BASE BID: GLASS WALL SYSTEM AS DESCRIBED IN DIVISION 12 AND ON DRAWINGS, WITH SOFFIT ABOVE
 - B. ALTERNATE: PARTIAL HEIGHT 2X6 GWP PARTITION WITH WOOD CAP AT 42" AFF, EXTENDING PERPENDICULAR FROM EACH SIDE WALL IN LOCATION SHOWN - NO SOFFIT
- ALTERNATE 03: ENCLOSE PORCH AS SHOWN (FRONT PORCH)
 - A. BASE BID: PROVIDE RAILINGS AT OPEN PORCH AS SHOWN
 - B. ALTERNATE: PROVIDE WOOD FRAMED LEXAN PANELS WITH PRESET BOLTS & WINGNUTS INSTALLATION AT TOP & BOTTOM PANEL CORNERS FOR EASE OF SEASONAL PANEL CHANGE - ATTACH TO FRAMING TYPICAL FOR 3 SIDES OF PORCH. PROVIDE (2) SCREENED STORM DOORS TO MATCH.
- ALTERNATE 04: RESILIENT FLOORING AT BATHROOMS
 - A. BASE BID: CERAMIC FLOOR TILE AT BATHROOMS AS SHOWN ON DRAWINGS
 - B. ALTERNATE: RESILIENT SHEET FLOORING & BASE AT BATHROOMS, INSTALLED WITH FULL BEAD SEALANT BEHIND BASE AT WALL TO FLOOR EDGE. SEE 0616 FOR PRODUCTS
- ALTERNATE 05: HEATING & COOLING
 - A. BASE BID: HEATING PER MECHANICAL DRAWINGS
 - B. ALTERNATE: MINI SPLIT FOR HEATING & COOLING, SEE M-SHEETS
- ALTERNATE 06: SPRINKLER SYSTEM
 - A. BASE BID: OMISSION OF RESIDENTIAL SPRINKLER SYSTEM
 - B. ALTERNATE: RESIDENTIAL SPRINKLER SYSTEM INSTALLED

- GENERAL COORDINATION PROCEDURES
 - A. COORDINATION: COORDINATE CONSTRUCTION OPERATIONS INCLUDED IN DIFFERENT SECTIONS OF THE SPECIFICATIONS TO ENSURE EFFICIENT AND ORDERLY INSTALLATION OF EACH PART OF THE WORK. COORDINATE CONSTRUCTION OPERATIONS INCLUDED IN DIFFERENT SECTIONS THAT DEPEND ON EACH OTHER FOR PROPER INSTALLATION, CONNECTION, AND OPERATION.
 - B. SCHEDULE CONSTRUCTION OPERATIONS IN SEQUENCE REQUIRED TO OBTAIN THE BEST RESULTS, WHERE INSTALLATION OF ONE PART OF THE WORK DEPENDS ON INSTALLATION OF OTHER COMPONENTS, BEFORE OR AFTER ITS OWN INSTALLATION.
 - C. COORDINATE INSTALLATION OF DIFFERENT COMPONENTS TO ENSURE MAXIMUM PERFORMANCE AND ACCESSIBILITY FOR REQUIRED MAINTENANCE, SERVICE, AND REPAIR.
 - D. MAKE ADEQUATE PROVISIONS TO ACCOMMODATE ITEMS SCHEDULED FOR LATER INSTALLATION.
- REQUEST FOR INFORMATION (RFI)
 - A. IMMEDIATELY ON DISCOVERY OF THE NEED FOR ADDITIONAL INFORMATION, CLARIFICATION, OR INTERPRETATION OF THE CONTRACT DOCUMENTS, CONTRACTOR SHALL PREPARE AND SUBMIT AN RFI IN THE FORM SPECIFIED.
 - B. ARCHITECT WILL RETURN WITHOUT RESPONSE THOSE RFIs SUBMITTED TO ARCHITECT BY OTHER ENTITIES CONTROLLED BY CONTRACTOR
 - C. COORDINATE AND SUBMIT RFIs IN A PROMPT MANNER TO AVOID DELAYS IN CONTRACTOR'S WORK OR WORK OF SUBCONTRACTORS
- CONTENT OF THE RFI: INCLUDE A DETAILED, LEGIBLE DESCRIPTION OF ITEM NEEDING INFORMATION OR INTERPRETATION AND THE FOLLOWING:
 - a. PROJECT NAME
 - b. OWNER NAME
 - c. OWNER'S PROJECT NUMBER
 - d. NAME OF ARCHITECT (AND CONSTRUCTION MANAGER)
 - e. ARCHITECT'S PROJECT NUMBER
 - f. DATE
 - g. NAME OF CONTRACTOR
 - h. RFI NUMBER, NUMBERED SEQUENTIALLY
 - i. RFI SUBJECT
 - j. SPECIFICATION SECTION NUMBER AND TITLE AND RELATED PARAGRAPHS, AS APPROPRIATE
 - k. DRAWING NUMBER AND DETAIL REFERENCES, AS APPROPRIATE
 - l. FIELD DIMENSIONS AND CONDITIONS, AS APPROPRIATE
 - m. CONTRACTOR'S SUGGESTED RESOLUTION, IF CONTRACTOR'S SUGGESTED RESOLUTION IMPACTS THE CONTRACT TIME OR THE CONTRACT SUM, CONTRACTOR SHALL STATE IMPACT IN THE RFI
 - n. CONTRACTOR'S SIGNATURE
 - o. ATTACHMENTS: INCLUDE SKETCHES, DESCRIPTIONS, MEASUREMENTS, PHOTOS, PRODUCT DATA, SHOP DRAWINGS, COORDINATION DRAWINGS, AND OTHER INFORMATION NECESSARY TO FULLY DESCRIBE ITEM NEEDING INTERPRETATION
 - p. INCLUDE DIMENSIONS, THICKNESSES, STRUCTURAL GRID REFERENCES, AND DETAILS OF AFFECTED MATERIALS, ASSEMBLIES, AND ATTACHMENTS ON ATTACHED SKETCHES

- SUBMITTALS & SUBSTITUTIONS
 - A. PREPARE AND SUBMIT SUBMITTALS AS PDF UPLOADED TO ONLINE PROJECT MANAGEMENT SOFTWARE WEBSITE, NEWFORMA, HOSTED BY SMRT OR AS AGREED UPON ALTERNATIVE PLATFORM
 - B. SUBMITTALS SHALL BE REQUIRED ONLY FOR: SUBSTITUTIONS OR OTHER DEVIATIONS FROM THE DRAWINGS, AND FOR ITEMS REQUIRING CONFIRMATION/APPROVAL OR COORDINATION (SUCH AS DOOR HARDWARE AND FINISH MATERIALS). PROPOSE A DRAFT LIST OF SUBMITTALS FOR OWNER & ARCHITECT REVIEW AND APPROVAL BEFORE FIRST PAYMENT APPLICATION AND OFFICIAL SUBMITTAL INDICATION SCOPE AND PROPOSED DATE OF SUBMISSION
 - C. PROCESSING TIME: INITIAL OR RESUBMITTAL REVIEW: 10 BUSINESS DAYS
- QUALITY ASSURANCE
 - A. DELEGATED DESIGN SERVICES: FOR PRODUCTS AND SYSTEMS ASSIGNED TO CONTRACTOR TO BE DESIGNED AND CERTIFIED BY CONTRACTOR'S DESIGN PROFESSIONAL, LICENSED IN THE STATE OF MAINE, TO BE IN COMPLIANCE WITH PERFORMANCE AND DESIGN CRITERIA, INCLUDING MECHANICAL, FIRE PROTECTION, ETC.
 - B. QUALIFICATIONS:
 - CONTRACTOR'S QUALITY-CONTROL PERSONNEL
 - MANUFACTURER
 - FABRICATOR
 - INSTALLER
 - PROFESSIONAL ENGINEER PERFORMING DELEGATED DESIGN SERVICES
 - SPECIALISTS
 - TESTING AGENCY
 - MANUFACTURER'S TECHNICAL REPRESENTATIVE
 - FACTORY-AUTHORIZED SERVICE REPRESENTATIVE
- CONSTRUCTION PROGRESS DOCUMENTATION
 - A. CONSTRUCTION SCHEDULE
 - B. SCHEDULE OF VALUES
 - C. DAILY CONSTRUCTION REPORTS, INCLUDING DIGITAL PHOTOGRAPHS, SUBMITTED WEEKLY
 - D. MEETING MINUTES BY CONTRACTOR
 - E. TEMPORARY FACILITIES & CONTROLS
 - F. UTILITIES ARE CONNECTED AND AVAILABLE FOR USE DURING CONSTRUCTION
- EXECUTION REQUIREMENTS
 - A. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE SYSTEMS AND ASSEMBLIES WHERE REFERRED TO, INCLUDING THE FASTENERS, ADHESIVES, ACCESSORIES AND ANY TRIM ASSOCIATED WITH SAID ASSEMBLY OR SYSTEM WHETHER OR NOT EXPLICITLY DESCRIBED IN THE DOCUMENTS. ALL WORK SHALL BE COMPLETED TO MEET CURRENT CODES AND BUILDING STANDARDS
 - B. SUSTAINABLE DESIGN REQUIREMENTS:
 - A. IMPLEMENT A WASTE MANAGEMENT APPROACH USING BEST PRACTICES FOR ENVIRONMENTALLY SAFE DISPOSAL OF CONSTRUCTION WASTE
 - B. MAXIMIZE USE OF MATERIALS WITH HIGH RECYCLED CONTENT
 - C. REGIONALLY MANUFACTURED AND REGIONALLY EXTRACTED, INCLUDING CERTIFIED WOOD PRODUCTS
 - D. WHERE EVER POSSIBLE, USE PRODUCTS THAT DO NOT COMPROMISE INDOOR-AIR-QUALITY SUCH AS LOW AND NO VOC OPTIONS

01 75 29 CUTTING AND PATCHING

- DEFINITIONS
 - A. CUTTING: REMOVAL OF EXISTING CONSTRUCTION NECESSARY TO PERMIT INSTALLATION OR PERFORMANCE OF OTHER WORK
 - B. PATCHING: FITTING AND REPAIR WORK REQUIRED TO RESTORE SURFACES TO ORIGINAL CONDITIONS AFTER INSTALLATION OF OTHER WORK
- STRUCTURAL ELEMENTS: WHERE CUTTING AND PATCHING INVOLVE ADDING REINFORCEMENT TO STRUCTURAL ELEMENTS, SUBMIT DETAILS AND ENGINEERING CALCULATIONS SHOWING INTEGRATION OF REINFORCEMENT WITH ORIGINAL STRUCTURE
- ARCHITECT'S APPROVAL: OBTAIN APPROVAL OF CUTTING AND PATCHING PROPOSAL BEFORE CUTTING AND PATCHING. APPROVAL DOES NOT WAIVE RIGHT TO LATER REQUIRE REMOVAL AND REPLACEMENT OF UNSATISFACTORY WORK
- VISUAL REQUIREMENTS: DO NOT CUT AND PATCH CONSTRUCTION IN A MANNER THAT RESULTS IN VISUAL EVIDENCE OF CUTTING AND PATCHING. DO NOT CUT AND PATCH CONSTRUCTION EXPOSED ON THE EXTERIOR OR IN OCCUPIED SPACES IN A MANNER THAT WOULD, IN ARCHITECT'S OPINION, REDUCE THE BUILDING'S AESTHETIC QUALITIES. REMOVE AND REPLACE CONSTRUCTION THAT HAS BEEN CUT AND PATCHED IN A VISUALLY UNSATISFACTORY MANNER
- EXISTING MATERIALS: USE MATERIALS IDENTICAL TO EXISTING MATERIALS. FOR EXPOSED SURFACES, USE MATERIALS THAT VISUALLY MATCH EXISTING ADJACENT SURFACES TO THE FULLEST EXTENT POSSIBLE. IF IDENTICAL MATERIALS ARE UNAVAILABLE OR CANNOT BE USED, USE MATERIALS THAT, WHEN INSTALLED, WILL MATCH THE VISUAL AND FUNCTIONAL PERFORMANCE OF EXISTING MATERIALS
- CUTTING, CUT EXISTING CONSTRUCTION BY SAWING, DRILLING, BREAKING, CHIPPING, GRINDING, AND SIMILAR OPERATIONS, INCLUDING EXCAVATION, USING METHODS LEAST LIKELY TO DAMAGE ELEMENTS RETAINED OR ADJOINING CONSTRUCTION. IF POSSIBLE, REVIEW PROPOSED PROCEDURES WITH ORIGINAL INSTALLER, COMPLY WITH ORIGINAL INSTALLER'S WRITTEN RECOMMENDATIONS
- PATCHING: PATCH CONSTRUCTION BY FILLING, REPAIRING, REFINISHING, CLOSING UP, AND SIMILAR OPERATIONS FOLLOWING PERFORMANCE OF OTHER WORK. PATCH WITH DURABLE SEAMS THAT ARE AS INVISIBLE AS POSSIBLE. PROVIDE MATERIALS AND COMPLY WITH INSTALLATION REQUIREMENTS SPECIFIED IN OTHER SECTIONS OF THESE SPECIFICATIONS

DIVISION 02 - EXISTING CONDITIONS

- SUMMARY:
 - OWNER WILL NOT OCCUPY THE SPACE DURING CONSTRUCTION, BUT MAY ACCESS AND SELF-PERFORM WORK IN AREAS OF THE BUILDING NOT IN THIS SCOPE
- PLEASE SEE OWNER-PROVIDED REPORT. IN THE EVENT THAT ANY HAZARDOUS MATERIALS ARE ENCOUNTERED, PLEASE NOTIFY OWNER IMMEDIATELY FOR DIRECTION

DIVISION 03 - CONCRETE

SUMMARY:

- ALL CONCRETE WORK SHALL CONFORM TO ACI 318-08 AND 301-05. CEMENT SHALL COMPLY WITH ASTM C150 TYPE II; AGGREGATES (NORMAL WEIGHT) SHALL COMPLY WITH ASTM C33.
- CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 4000 PSI UNLESS OTHERWISE NOTED; SUBMIT DESIGN MIX FOR REVIEW AND APPROVAL OF THE STRUCTURAL ENGINEER OF RECORD. INCLUDE MATERIAL CERTIFICATES FOR CEMENTITIOUS MATERIALS, ADMIXTURES AND AGGREGATES, AND ADJUTIVE, AGGREGATE AND CEMENTITIOUS PRODUCT SHALL BE SOURCED FROM A SINGLE DISTRIBUTOR AND MANUFACTURER
- ALL CONCRETE EXPOSED TO FREEZING SHALL HAVE A 8% AIR CONTENT (+/-1%). ALL THE OTHER CONCRETE SHALL BE NON-AIR ENTRAINED, WITH 3.0% MAXIMUM AIR CONTENT
- CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND. WHEN AVERAGE OF HIGH AND LOW TEMPERATURE IS EXPECTED TO FALL BELOW 40° (F) FOR THREE DAYS, PROVIDE BLANKETS OR OTHER MEANS OF PROTECTION FOR CURING CONCRETE IN CONFORMANCE WITH ACI 301. DO NOT USE FROZEN MATERIALS OR MATERIALS CONTAINING ICE OR SNOW
- CONSOLIDATE CONCRETE WITH MECHANICALLY VIBRATING EQUIPMENT IN ACCORDANCE WITH ACI 301; CONTRACTOR IS TO HAVE TWO (2) OPERATIONAL VIBRATORS AT THE WORK SITE TO SAFEGUARD AGAINST MECHANICAL FAILURE DURING PLACEMENT
- REINFORCING BARS SHALL CONFORM TO ASTM A-615 GRADE 60 DEFORMED BARS AND SHALL BE DETAIL FABRICATED AND PLACED IN ACCORDANCE WITH ACI 318-LATEST EDITION. REINFORCING SHALL BE INSPECTED PRIOR TO PLACEMENT OF CONCRETE
- SPICES OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH ACI 318, UNLESS OTHERWISE NOTED ON DRAWINGS
- EMBEDDED ITEM INSTALLATION: PLACE AND SECURE ANCHORAGE DEVICES AND OTHER EMBEDDED ITEMS REQUIRED FOR ADJOINING WORK THAT IS ATTACHED TO OR SUPPORTED BY CAST-IN-PLACE CONCRETE. USE SETTING DRAWINGS, TEMPLATES, DIAGRAMS, INSTRUCTIONS, AND DIRECTIONS FURNISHED WITH ITEMS TO BE EMBEDDED. INSTALL ANCHOR RODS, ACCURATELY LOCATED, TO ELEVATIONS REQUIRED AND COMPLY WITH TOLERANCES IN SECTION 7.5 OF AISC 303
- CONCRETE PLACEMENT: BEFORE PLACING CONCRETE, VERIFY THAT INSTALLATION OF FORMWORK, REINFORCEMENT, AND EMBEDDED ITEMS IS COMPLETE AND THAT REQUIRED INSPECTIONS ARE COMPLETED. DO NOT ADD WATER TO CONCRETE DURING DELIVERY, AT PROJECT SITE, OR DURING PLACEMENT UNLESS APPROVED BY ENGINEER OF RECORD. IF APPROVED, WATER ADDED AT PROJECT SITE MUST BE DONE BEFORE TEST SAMPLING AND PLACING CONCRETE AND SUBJECT TO LIMITATIONS OF ACI 301. DO NOT ADD WATER TO CONCRETE AFTER ADDING HIGH-RANGE WATER-REDUCING ADMIXTURES TO MATURE. DEPOSIT CONCRETE CONTINUOUSLY IN ONE LAYER OR IN HORIZONTAL LAYERS OF SUCH THICKNESS THAT NO NEW CONCRETE IS PLACED ON CONCRETE THAT HAS HARDENED ENOUGH TO CAUSE SEAMS OR PLANES OF WEAKNESS. IF A SECTION CANNOT BE PLACED CONTINUOUSLY, PROVIDE CONSTRUCTION JOINTS AS INDICATED. DEPOSIT CONCRETE TO AVOID SEGREGATION
- COMPLETE SHOP DRAWINGS OF ALL REINFORCING STEEL SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO COMMENCEMENT OF THAT PORTION OF THE WORK

- CONCRETE PLACEMENT: BEFORE PLACING CONCRETE, VERIFY THAT INSTALLATION OF FORMWORK, REINFORCEMENT, AND EMBEDDED ITEMS IS COMPLETE AND THAT REQUIRED INSPECTIONS ARE COMPLETED. DO NOT ADD WATER TO CONCRETE DURING DELIVERY, AT PROJECT SITE, OR DURING PLACEMENT UNLESS APPROVED BY ENGINEER OF RECORD. IF APPROVED, WATER ADDED AT PROJECT SITE MUST BE DONE BEFORE TEST SAMPLING AND PLACING CONCRETE AND SUBJECT TO LIMITATIONS OF ACI 301. DO NOT ADD WATER TO CONCRETE AFTER ADDING HIGH-RANGE WATER-REDUCING ADMIXTURES TO MATURE. DEPOSIT CONCRETE CONTINUOUSLY IN ONE LAYER OR IN HORIZONTAL LAYERS OF SUCH THICKNESS THAT NO NEW CONCRETE IS PLACED ON CONCRETE THAT HAS HARDENED ENOUGH TO CAUSE SEAMS OR PLANES OF WEAKNESS. IF A SECTION CANNOT BE PLACED CONTINUOUSLY, PROVIDE CONSTRUCTION JOINTS AS INDICATED. DEPOSIT CONCRETE TO AVOID SEGREGATION
- COMPLETE SHOP DRAWINGS OF ALL REINFORCING STEEL SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO COMMENCEMENT OF THAT PORTION OF THE WORK

- MASONRY
 - SUMMARY: SCOPE OF CONCRETE MASONRY UNIT WORK IS LIMITED TO CUTTING, PATCHING & REPAIR OF EXISTING CMU WALL CONSTRUCTION FOUND AT NEW OPENINGS

DIVISION 05 - METALS

- SUMMARY: SCOPE INCLUDES, BUT NOT LIMITED TO, MISCELLANEOUS METALS SUCH AS HANDRAIL & SIGN POSTS.

05 00 00 METAL FABRICATIONS

- THIS SECTION INCLUDES:
 - A. MISCELLANEOUS METAL FABRICATIONS TO SUPPORT WORK OF OTHER TRADES
 - B. FIELD MEASUREMENTS: WHERE METAL FABRICATIONS ARE INDICATED TO FIT WALLS AND OTHER CONSTRUCTION, VERIFY DIMENSIONS BY FIELD MEASUREMENTS BEFORE FABRICATION AND INDICATE MEASUREMENTS ON SHOP DRAWINGS. COORDINATE FABRICATION SCHEDULE WITH CONSTRUCTION PROGRESS TO AVOID DELAYING THE WORK
 - C. COORDINATE INSTALLATION OF ANCHORAGES FOR METAL FABRICATIONS. FURNISH SETTING DRAWINGS, TEMPLATES, AND DIRECTIONS FOR INSTALLING ANCHORAGES, INCLUDING SLEEVES, CONCRETE INSERTS, ANCHOR BOLTS, AND ITEMS WITH INTEGRAL ANCHORS, THAT ARE TO BE EMBEDDED IN CONCRETE OR MASONRY. DELIVER SUCH ITEMS TO PROJECT SITE IN TIME FOR INSTALLATION
 - D. MATERIALS:
 - A. STEEL PLATES, SHAPES, AND BARS: ASTM A 36/A 36M, AND 316L AT CORROSIVE ENVIRONMENTS.
 - B. STAINLESS-STEEL SHEET, STRIP, PLATE, AND FLAT BARS: ASTM A 666, TYPE 304
 - C. STAINLESS-STEEL BARS AND SHAPES: ASTM A 276, TYPE 304
 - D. NON-SHRINK, NONMETALLIC GROUT: FACTORY-PACKAGED, NON-STAINING, NONCORROSIVE, NONAGGREGOUS GROUT COMPLYING WITH ASTM C 1107. PROVIDE GROUT SPECIFICALLY RECOMMENDED BY MANUFACTURER FOR INTERIOR AND EXTERIOR APPLICATIONS
 - E. SHOP ASSEMBLY: PREASSEMBLE ITEMS IN SHOP TO GREATEST EXTENT POSSIBLE TO MINIMIZE FIELD SPLICING AND ASSEMBLY. DISASSEMBLE ITEMS ONLY AS NECESSARY FOR SHIPPING AND HANDLING LIMITATIONS. USE CONNECTIONS THAT MAINTAIN STRUCTURAL VALUE OF JOINED PIECES. CLEARLY MARK UNITS FOR REASSEMBLY AND COORDINATED INSTALLATION

DIVISION 06 - WOOD, PLASTICS & COMPOSITES

SUMMARY: SCOPE OF WORK INCLUDES WOOD FRAMING OF ROUGH CARPENTRY & BLOCKING, SUB-FLOOR SHEATHING WHERE INDICATED ON DRAWINGS, LIMITED HEAVY TIMBER FRAMING, AND FINISH CARPENTRY INCLUDING OPENING FRAMES & TRIM AS WELL AS INSTALLATION OF SOLARUM. REGIONALLY SOURCED WOOD MATERIALS TO BE USED WHEREEVER POSSIBLE.

- INTERIOR DIMENSIONAL LUMBER FRAMING PRODUCTS TO BE CONSTRUCTION GRADE WOOD WITH MAXIMUM MOISTURE CONTENT 19%
 - A. WOOD PRESERVATIVE TREATED LUMBER TO BE USED AT ANY LOCATION WITH EXTERIOR EXPOSURE OR CONTACT TO MASONRY, ROOFING OR WATERPROOFING MATERIALS
 - B. PRESERVATIVE CHEMICALS: CONTAINING NO ARSENIC OR CHROMIUM
- INTERIOR TRIM & ARCHITECTURAL WOODWORK TO BE POPLAR, GRADE A FOR PAINTING AND KNOTTY PINE FOR CLEAR FINISH
- PLASTIC LAMINATE CLAD CABINETS -
 - A. HIGH PRESSURE PLASTIC LAMINATE FOR MILLWORK CABINETRY BODIES: COLOR AND PATTERN TO BE SELECTED FROM MANUFACTURER'S STANDARD LINE. REFER TO FINISH SCHEDULE
 - B. Horizontal Surfaces: Grade HGS
 - C. Postformed Surfaces: Grade HGP
 - D. Vertical Surfaces: Grade VGS
 - E. Pattern Direction: Vertical for drawer fronts, doors and fixed panels
- EDGES OF DRAWER AND DOOR FRONTS: PVC TAPE, 0.016" MIN THICKNESS, MATCHING LAMINATE IN COLOR, PATTERN & FINISH
- EDGES OF PLASTIC LAMINATE SHELVES: PVC TAPE, 0.016" MIN THICKNESS, MATCHING LAMINATE IN COLOR, PATTERN & FINISH
- COUNTERTOPS: QUARTZ STONE, 3 CM, POLISHED FINISH, EASED EDGE
- CASEWORK HARDWARE:
 - A. FRAMELESS CONCEALED HINGES (EUROPEAN TYPE): ANSIBHMA A156.9, B01602, 170 DEGREES OF OPENING, SELF-CLOSING
 - B. DRAWER SLIDES: ANSIBHMA A156.9, GRADE 1 HD-100 SIDE MOUNT, FULL EXTENSION COMMERCIAL GRADE ZINC PLATED STEEL WITH POLYMER ROLLERS
 - C. DECORATIVE PULLS: (BRASS) HAFLE MILBERRY COLLECTION #116.36.806, BRUSHED NICKEL

DIVISION 07 - THERMAL & MOISTURE PROTECTION

- SUMMARY: SCOPE INCLUDES UPGRADING EXISTING BUILDING SHELL AND NEW WORK TO PROVIDE INTEGRITY TO THE ENVELOPE FOR IMPROVED PERFORMANCE. IN ADDITION TO NEW SIDING, NEW ROOFING AT PORCHES, PATCHING AT EXISTING ROOF, PATCH & REPAIR ABANDONED OPENINGS, DAMAGED MATERIALS AND INSULATE THROUGHOUT
- ROOFING
 - A. METAL ROOFING LIMITED TO PATCH & REPAIR, IF REQUIRED, AT EXISTING
 - B. ARCHITECTURAL ROOFING SHINGLES: SUBMIT FULL RANGE OF MFR COLORS FOR SELECTION
 - C. APPLY SELF-ADHERING ROOF MEMBRANE AT ALL EAVES, RIDGES, VALLEYS, CRACKETS, JOINTS, AND PENETRATIONS PRIOR TO INSTALLING ROOFING
 - D. SIDING: AS INDICATED ON DRAWINGS
- INSULATION
 - A. ACOUSTIC BATT INSULATION TYPICAL AT INTERIOR PARTITIONS
 - B. RIGID BOARD INSULATION: USE Owens Corning FOAMULAR® 150 extruded polystyrene insulation, OR EQUAL
 - a. ACCESSORIES: USE Owens Corning JointSeal® Foam Joint Tape OR EQUAL
 - C. MINERAL WOOL BATT: PRICE ALTERNATE FOR ROCKWOOL EXTERIOR WALLS TO REPLACE FIBERGLASS
 - D. BLOWN IN ATTIC INSULATION: CELLULOSE
 - E. USE LOW EXPANSION FOAM WHERE SPRAY FOAM APPLIED AT DOOR AND WINDOW INSTALLATIONS, TYPICAL

07 92 00 JOINT SEALANTS

- SUMMARY:
 - PROVIDE SEALANTS BETWEEN DISSIMILAR MATERIALS AND WHERE MOVEMENT IS ANTICIPATED. USE APPROPRIATE SEALANT FOR VARYING APPLICATIONS; FIRE-RATINGS, ACOUSTICAL SEALS, WET OR EXTERIOR & INTERIOR FINISH LOCATIONS INCLUDING BUT NOT LIMITED TO NOTED BELOW. USE LATEX AND W/EMITTING SEALANTS WHERE ALLOWED.
- GENERAL SEALANTS: DOW 795 SILICONE, CLEAR
- CALLK AROUND DOOR FRAMES: LATEX SEALANT, WHITE
- SEALANT AROUND PLUMBING FIXTURES AND AT JUNCTIONS BETWEEN COUNTERS AND WALLS: SILICONE ANTI-FUNGICIDAL, WHITE
- PROVIDE OPEN BACKER RODS WHERE REQUIRED PER SEALANT MANUFACTURER'S RECOMMENDATIONS

DIVISION 08 - DOORS & WINDOWS

08 14 00 WOOD DOORS

- STANDARD DOOR TYPE:
 - INTERIOR STYLE & RAIL WITH RAISED PANELS WITH SOLID LUMBER FRAMES, FOR CLEAR/TRANSPARENT FINISH
- PREPARE DOORS TO RECEIVE FINISHED HARDWARE

08 70 00 DOOR HARDWARE

- COMPLY WITH THE REQUIREMENTS OF BHMA AND APPLICABLE CODES INCLUDING ADA
- HARDWARE TO INCLUDE:
 - A. HINGES
 - B. LOCKS AND LATCHES
 - C. OVERHEAD DOOR CLOSERS
 - D. DOOR STOPS (WALL AND FLOOR MOUNTED)
 - E. FINISH: SATIN STAINLESS (US32D)
- COORDINATE KEYING WITH FURNITURE REQUIREMENTS
- COORDINATE SECURITY SYSTEMS (IF REQUIRED BY OWNER) WITH HARDWARE INCLUDING ELECTRIC STRIKES AND OR MAGNETIC LOCKS

DOOR HARDWARE LEGEND:

- PASSAGE LEVER SET, HINGES, DOOR STOP
- OFFICE LEVER SET, HINGES, DOOR STOP
- STORAGE LEVER SET, HINGES, CLOSER, DOOR STOP
- PEMCO (OR EQUAL) SLIDING DOOR HARDWARE SET, (2) PULLS
- EXIT HARDWARE, PUSH BAR INTERIOR, LEVER EXTERIOR, HINGES, CLOSER, THRESHOLD
- PRIVACY LEVER SET, HINGES
- PASSAGE LEVER SET, CLOSER, HINGES
- ENTRY LATCH SET, CONFIRM LOCKING MECHANISM WITH OWNER
- 8A: ENTRY LEVER SET, ADA THRESHOLD, CONFIRM LOCKING MECHANISM WITH OWNER

08 81 00 WINDOWS

- EXTERIOR - VINYL, INSULATED GLASS. DOUBLE HUNG TO MATCH EXISTING AS CLOSE AS POSSIBLE, AND FIXED CASEMENTS

08 88 00 GLAZING

- GLAZING - ALL GLASS AT DOORS, BORROWED LITES TO BE FULLY TEMPERED, CLEAR GLASS, UNLESS OTHERWISE NOTED
- THICKNESS PER FABRICATOR RECOMMENDATIONS FOR SIZES AND IN ACCORDANCE WITH SAFETY GLAZING REQUIREMENTS OF BUILDING CODE. INSTALLED WITH GLAZING FILMS OR SILICONE SEALANTS AS APPROPRIATE

DIVISION 09 - FINISHES (SEE ALSO ID SHEET)

- SUMMARY
 - A. GWB PARTITIONS - SEE TYPICAL WALL TYPE, SHEET G101
 - B. ACOUSTICAL CEILING SYSTEM
 - C. WOOD FLOORING - EXISTING TO REMAIN, PROTECT & REFINISH
 - D. RESILIENT SHEET
 - E. TILE CARPETS

09 21 16 GYPSUM BOARD ASSEMBLIES

- GENERAL: COMPLYING WITH ASTM C 1396/C 1396M, AS APPLICABLE TO TYPE OF GYPSUM BOARD INDICATED AND WHICHEVER IS MORE STRINGENT.
 - MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING:
 - A. G-P GYPSUM
 - B. LAFARGE NORTH AMERICA INC.
 - C. NATIONAL GYPSUM COMPANY
 - D. USG CORPORATION
- CEILING TYPE: MANUFACTURED TO HAVE MORE SAG RESISTANCE THAN REGULAR-TYPE GYPSUM BOARD
- THICKNESS: 1/2" U.N.O. OR 5/8" INCH AS REQUIRED TO ALIGN WITH EXISTING CONDITIONS. LONG EDGES: TAPERED
- MOISTURE- AND MOLD-RESISTANT TYPE: WITH MOISTURE- AND MOLD-RESISTANT CORE AND SURFACES
 - A. CORE: 1/2 INCH (15.9 MM)
 - B. LONG EDGES: TAPERED
- INTERIOR TRIM: ASTM C 1047
 - MATERIAL: GALVANIZED OR ALUMINUM-COATED STEEL SHEET OR ROLLED ZINC SHAPES
 - A. CORNERBEAD
 - B. LC-BEAD: J-SHAPED; EXPOSED LONG FLANGE RECEIVES JOINT COMPOUND
 - C. CURVED-EDGE CORNERBEAD: WITH NOTCHED OR FLEXIBLE FLANGES
- JOINT TREATMENT: GENERAL, COMPLY WITH ASTM C 475/C 475M
- JOINT COMPOUND FOR INTERIOR GYPSUM WALLBOARD. FOR EACH COAT USE FORMULATION THAT IS COMPATIBLE WITH OTHER COMPOUNDS APPLIED ON PREVIOUS OR FOR SUCCESSIVE COATS
 - A. PREFILLING: AT OPEN JOINTS AND DAMAGED SURFACE AREAS, USE SETTING-TYPE TAPING COMPOUND
 - B. EMBEDDING AND FIRST COAT: FOR EMBEDDING TAPE AND FIRST COAT ON JOINTS, FASTENERS, AND TRIM FLANGES, USE DRYING-TYPE ALL-PURPOSE COMPOUND. USE SETTING-TYPE COMPOUND FOR INSTALLING PAPER-FACED METAL TRIM ACCESSORIES
 - C. FILL COAT: FOR SECOND COAT, USE DRYING-TYPE, ALL-PURPOSE COMPOUND
 - D. FINISH COAT: FOR THIRD COAT, USE DRYING-TYPE, ALL-PURPOSE COMPOUND
 - E. PROVIDE A LEVEL 4 FINISH AT WALL-COVERING LOCATIONS

09 30 00 CERAMIC TILING

REFER TO DRAWINGS AND FINISH LEGEND

- WALL TILE: THINSET
- GROUT: EPOXY AT KITCHEN AND BATHROOM
- INTERIOR FLOOR TILE: SEAL SEAMS BETWEEN MEMBRANE SHEETS PER MANUFACTURER'S INSTRUCTIONS TO PREVENT MOISTURE INTRUSION AND TO PROTECT ADJACENT WALLS AND BUILDING MATERIALS. BASE FLASHING FOR MAXIMUM EFFECTIVENESS: COMPLY WITH TONA FOR INSTALLATION

09 51 00 ACOUSTIC PANEL CEILING

REFER TO DRAWINGS AND FINISH LEGEND

09 65 13 RESILIENT BASE AND ACCESSORIES

- PROVIDE ADA COMPLIANT FLOOR TRANSITIONS AS REQUIRED BETWEEN DIFFERENT FLOORING MATERIALS, TARKETT OR EQUAL. COORDINATE COLOR TO BLEND IN WITH FLOOR COVERING COLOR WHERE EXPOSED

09 65 16 RESILIENT SHEET FLOORING:

- MUST BE COMMERCIAL-GRADE, SLIP RESISTANT FOR WET ENVIRONMENTS AND GREASE RESISTANT, CLASS BR-S1 according to EN 13501-1, FULLY TESTED TO ASTM E648 AND HAVE A CLASS 1 RATING
- GERBERT 2300 2 PART URETHANE FLOORING ADHESIVE
- PROVIDE COVE STICK AND TOP CAP ACCESSORIES AS RECOMMENDED BY MANUFACTURER
- HEAT WELDED SEAMS REFER TO FINISH LEGEND
- WOOD SUB FLOOR PREP FOR NEW FLOORING, TYPICAL REQUIREMENTS
 - A. PLYWOOD UNDERLAYMENT TO BE CLEAN AND FREE OF DIRT, DUST, PAINT AND OIL FILM
 - B. MINIMUM 18 INCHES OF CROSS-VENTILATED SPACE BETWEEN BOTTOM OF JOIST AND GROUND
 - C. MUST MEET LOCAL AND NATIONAL BUILDING CODES. REFER TO ASTM F 1482
 - D. STANDARD PRACTICE FOR INSTALLATION AND PREPARATION OF PANEL TYPE UNDERLAYMENTS TO RECEIVE RESILIENT FLOORING
 - a. SINGLE FLOOR TONGUE & GROOVE SUBFLOORS MUST BE COVERED WITH 1/4 INCH OR 1/2 INCH APA APPROVED UNDERLAYMENT PLYWOOD
 - E. COUNTERSINK NAIL HEADS AND FILL DEPRESSIONS, JOINTS, CRACKS, GOUGES AND CHIPPED EDGES WITH GOOD QUALITY PORTLAND CEMENT
 - F. BASED PATCHING COMPOUND DESIGNED FOR THIS PURPOSE. DO NOT INSTALL OVER OSB, PARTICLE BOARD, CHIPBOARD, LAUAN OR COMPOSITE-TYPE UNDERLAYMENTS
 - G. PLYWOOD SUBSTRATE MUST BE SEALED TO ACCEPT ADHESIVE. FOLLOW FLOORING MANUFACTURER'S WRITTEN RECOMMENDATIONS FOR INSTALLATION ON WOOD SUBFLOOR
- ALTERNATE FLOORING TO PFT-1:
 - A. DO NOT WAIVE DIV-1 MANNINGTON COMMERCIAL, ASSURANCE II, SLIP RESISTANT SHEET WITH QUANTUM GUARD, COLOR: THUNDERCLOUD
 - a. IF THIS ALTERNATE IS SELECTED, USE TARKETT MILLWORK BASE, MONUMENT 4-INCH MINIMUM PEWTER #36, M9-36-525 IN LIEU OF THE PFT-1 BASE

09 68 00 TILE CARPETING

- REFER TO DRAWINGS AND FINISH LEGEND
- 1:6 RATIO, 10% SOLUTION DTD
- BACKING FOR OPT TO BE SUSTAINA, PVC-FREE MODULAR BACKING
- ADHESIVE: ATLAS | MASLAND MODULAR TILE ADHESIVE. PROVIDE MASLAND MOISTURE RESISTANT SUB FLOOR PREPARATION AS RECOMMENDED BY MANUFACTURER'S WRITTEN INSTRUCTIONS
- WOOD SUB FLOOR PREP FOR NEW FLOORING, TYPICAL REQUIREMENTS
 - A. PLYWOOD UNDERLAYMENT TO BE CLEAN AND FREE OF DIRT, DUST, PAINT AND OIL FILM
 - B. MINIMUM 18 INCHES OF CROSS-VENTILATED SPACE BETWEEN BOTTOM OF JOIST AND GROUND
 - C. MUST MEET LOCAL AND NATIONAL BUILDING CODES. REFER TO ASTM F 1482
 - D. STANDARD PRACTICE FOR INSTALLATION AND PREPARATION OF PANEL TYPE UNDERLAYMENTS TO RECEIVE RESILIENT FLOORING
 - a. SINGLE FLOOR TONGUE & GROOVE SUBFLOORS MUST BE COVERED WITH 1/4 INCH OR 1/2 INCH APA APPROVED UNDERLAYMENT PLYWOOD
 - E. COUNTERSINK NAIL HEADS AND FILL DEPRESSIONS, JOINTS, CRACKS, GOUGES AND CHIPPED EDGES WITH GOOD QUALITY PORTLAND CEMENT
 - F. BASED PATCHING COMPOUND DESIGNED FOR THIS PURPOSE. DO NOT INSTALL OVER OSB, PARTICLE BOARD, CHIPBOARD, LAUAN OR COMPOSITE-TYPE UNDERLAYMENTS
 - G. PLYWOOD SUBSTRATE MUST BE SEALED TO ACCEPT ADHESIVE. FOLLOW FLOORING MANUFACTURER'S WRITTEN RECOMMENDATIONS FOR INSTALLATION ON WOOD SUBFLOOR

09 91 00 PAINTING

- PROVIDE PAINT PRODUCTS FROM THE SAME MANUFACTURER. PREP SURFACES IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS
 - A. PRIMER AT DRYWALL, SHERWIN WILLIAMS, PROMAR 200 ZERO VOC INTERIOR LATEX PRIMER
 - B. PRIMER AT NEW DRYWALL FOR WALLCOVERING, PIGMENTED PRIMER, EQUAL TO 2100 SHIELDZ PRIMER OR ROMAN'S ULTRA PREMIUM PRO 997. TEST LOCATIONS FOR EXISTING DRYWALL. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION
 - C. FINISH COATS (2) FOR PAINTED WOOD AND TRIM: SHERWIN WILLIAMS, MULTIPURPOSE LATEX PRIMER/SEALER. SEAL KNOTS BEFORE APPLYING PRIMER
 - D. FINISH COATS (2) AT DRYWALL SURFACES: SHERWIN WILLIAMS, PROMAR 200 ZERO VOC INTERIOR LATEX EG-SHEL
 - E. FINISH COATS (2) FOR PAINTED WOOD TRIM: SHERWIN WILLIAMS, PROMAR 200 ZERO VOC INTERIOR LATEX SEMI-GLOSS
 - F. PROVIDE EPOXY PAINT AT ALL KITCHEN AND BATHROOM WALLS AND CEILING SURFACES. ACRYLIC PRODUCTS OR EQUAL. BASIS OF DESIGN COLOR: 2855 CRAFTSMAN BROWN
 - G. CONCRETE PAINT FOR FLOORS: SHERWIN WILLIAMS EPO-FLEXMER II SYSTEM. TOTAL REMOVAL OF EXISTING COATINGS. TEST FLOOR FOR MOISTURE. FOLLOW SW SYSTEM INSTRUCTIONS FOR FLOOR PREPARATION AND APPLICATION. APPLICATOR MUST HAVE 5 YEARS' EXPERIENCE APPLYING RESINOUS PRODUCT, PROVIDE LIST OF PRODUCTS
 - H. EXTERIOR PAINT FOR METAL ROOF: SHERWIN WILLIAMS UNIFLEX ROOF PRODUCTS OR EQUAL. BASIS OF DESIGN COLOR: 2855 CRAFTSMAN BROWN - SUBMIT COLOR SAMPLES FOR FINAL SELECTION
 - I. EXTERIOR PAINT FOR FOUNDATION WALLS: SHERWIN WILLIAMS RESILIENCE EXTERIOR ACRYLIC PRODUCTS OR EQUAL. BASIS OF DESIGN COLOR: 2855 CRAFTSMAN BROWN - SUBMIT COLOR SAMPLES FOR FINAL SELECTION

09 93 00 STAINING AND TRANSPARENT FINISH

- INTERIOR TRANSPARENT, MANUFACTURER'S LOW-SHEEN
- CLEAR FINISH (3 COATS) AT PINE, U.N.O. VERIFY COMPATIBILITY OF FINISH WITH MANUFACTURER'S RECOMMENDATIONS
- FINISH FOR EXISTING WOOD FLOORS: SAND AND PREP FOR NEW FINISH, BONA TRAFFIC OR EQUAL

DIVISION 10 - SPECIALTIES

- TOILET ACCESSORIES: PROVIDE & INSTALL GRAB BARS & ROBE HOOKS & 3-HOOK COATHOOK BOARDS, (TOILET PAPER HOLDERS & PAPER TOWEL DISPENSERS BY OWNER)
- COATHOOK BOARDS AT THE FOLLOWING QUANTITIES, CONFIRM FINAL LOCATIONS:
 - 2 @ ENTRY 019
 - 2 @ ENTRY 114
 - 1 @ BATH 102
 - 1 @ POWDER 111
 - 1 @ SHOWER 111A
- ROBE HOOKS AT THE FOLLOWING QUANTITIES: CONFIRM FINAL LOCATIONS.
 - 1 @ BATHROOMS 121, 122, 128, 110, 006, 007
- SHOWER ENCLOSURE: SEE M-DRAWINGS
- WINDOW TREATMENTS BY OWNER

10 44 00 FIRE PROTECTION SPECIALTIES

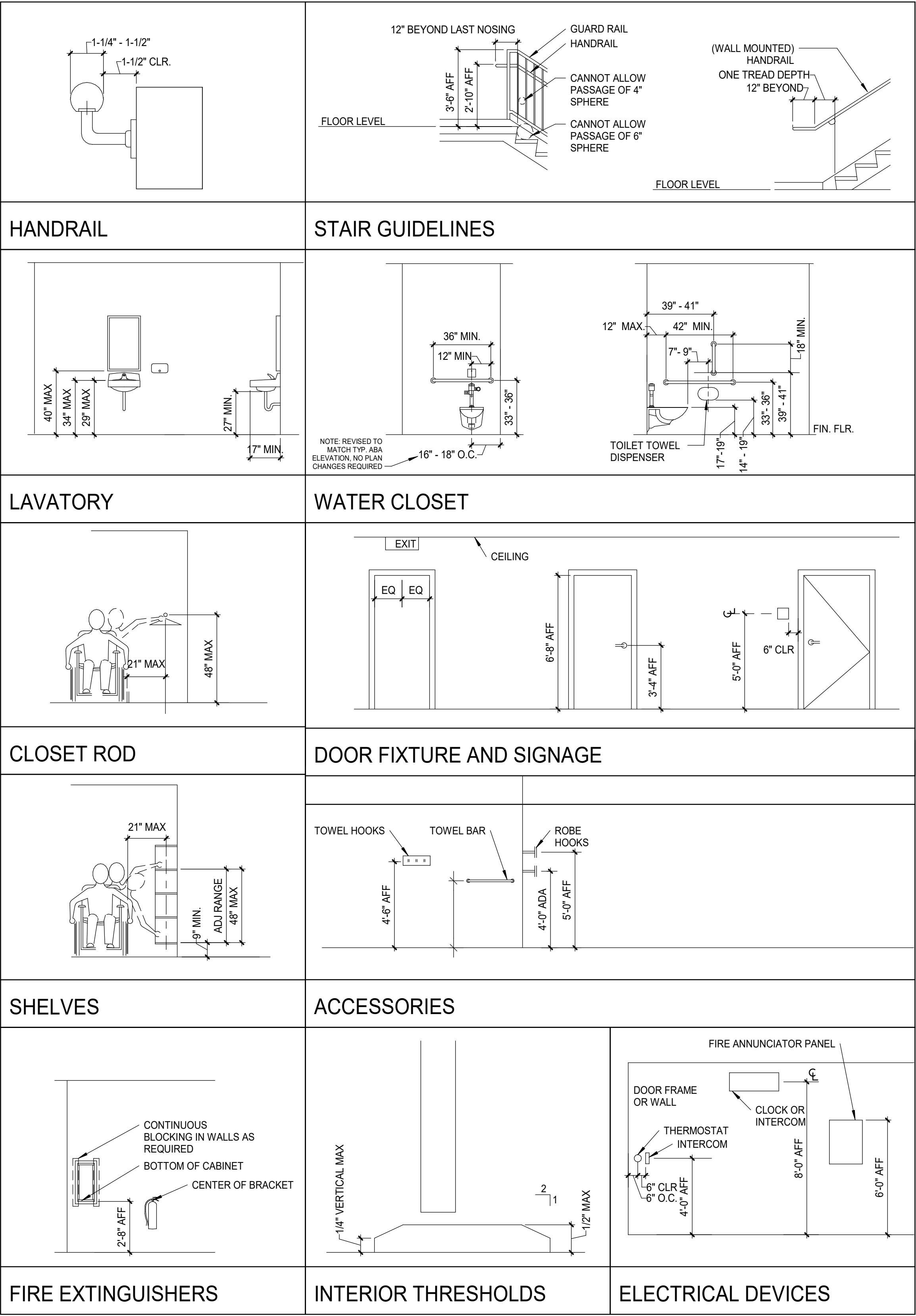
- PRODUCTS INCLUDE:
 - A. PORTABLE FIRE EXTINGUISHERS AND MOUNTING BRACKETS FOR WALL MOUNTED UNITS
- MANUFACTURERS:
 - A. J.L. INDUSTRIES
 - B. LARSEN'S MANUFACTURING COMPANY
 - C. POTTER-ROEMER

DIVISION 11 - EQUIPMENT

- KITCHEN APPLIANCES WILL BE PROVIDED BY OWNER, INCLUDING BUT NOT LIMITED TO:
 - A. REFRIGERATOR(S), COFFEE MAKERS, FRYOLATOR, OVENS, GAS RANGE COOKTOP
- CONTRACTOR SHALL PROTECT, MODIFY OR PROVIDE HOOKUPS AS REQUIRED. COORDINATE WITH OWNER FOR FINAL EQUIPMENT LIST

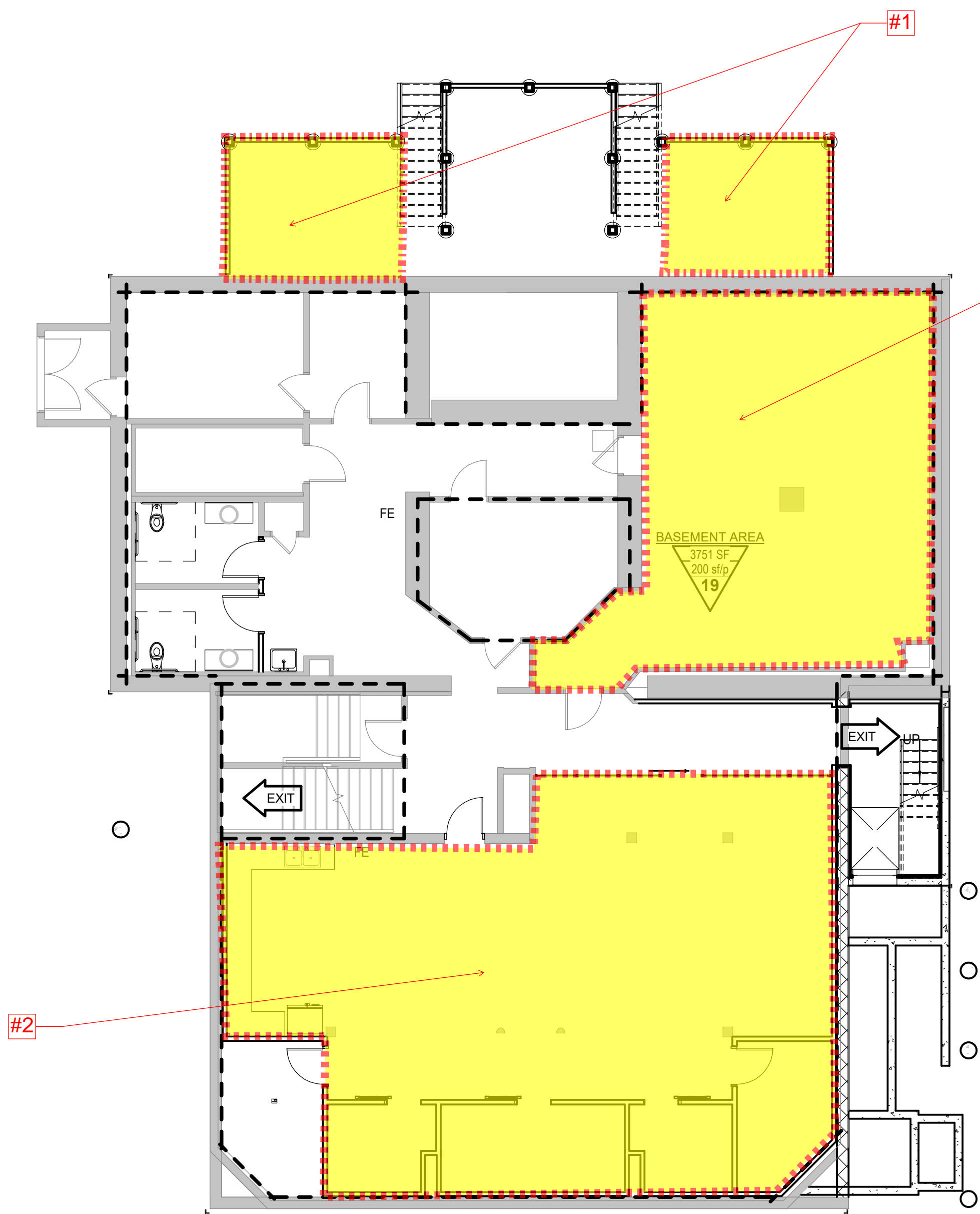
DIVISION 12 - FURNISHINGS

- OWNER WILL FURNISH WINDOW SHADES,

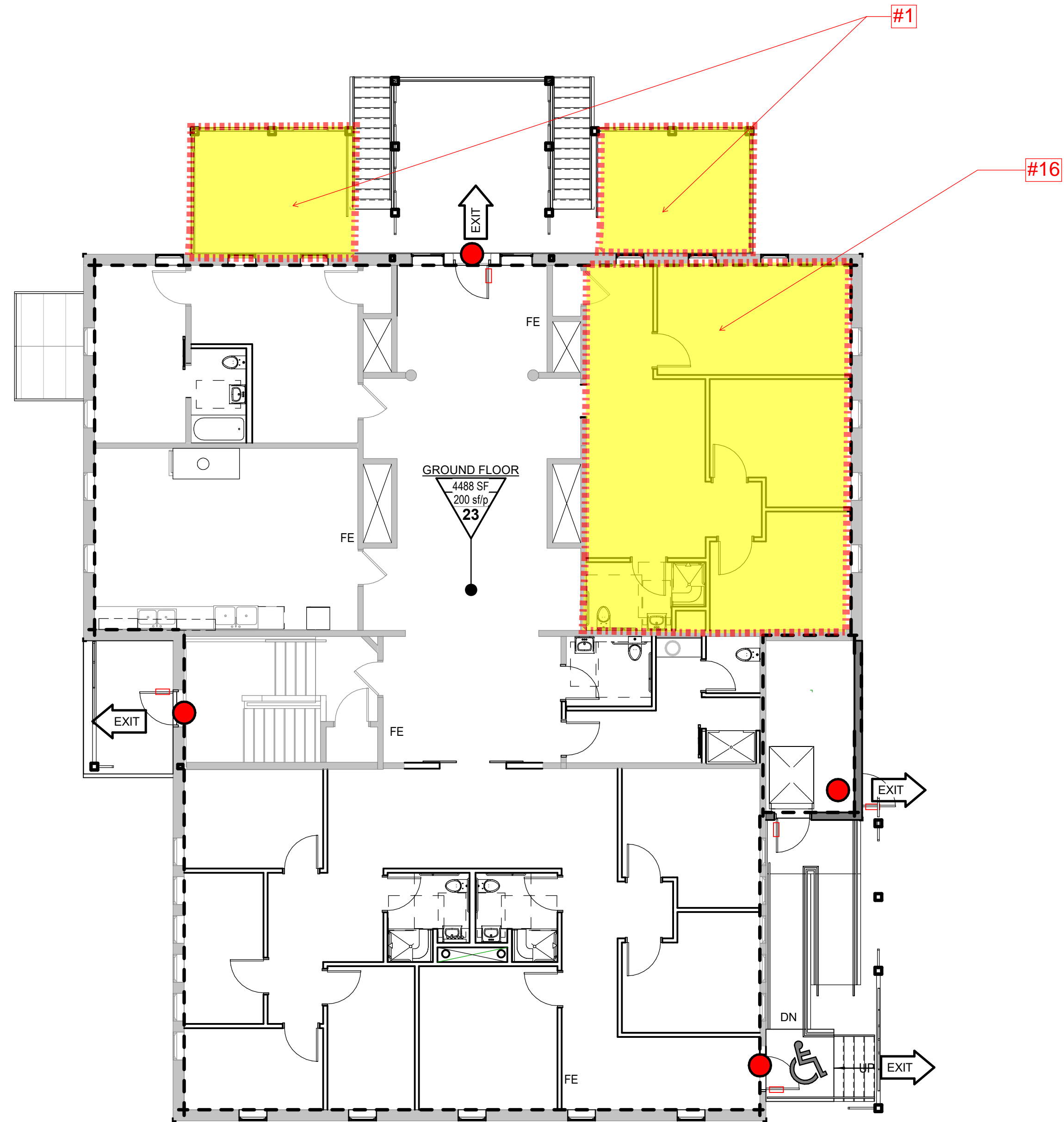


MOUNTING HEIGHTS AND ACCESSIBILITY
12" = 1'-0" **A1**

0	PHASED FOR REBID	02-07-25
REV	DESCRIPTION	DATE
PHASED FOR REBID 02-07-25		
CURRENT ISSUE STATUS:		
<div><div></div><div>SMRT Architects and Engineers 75 Washington Ave., Suite 3A Portland, Maine 04101 1.877.700.7678 www.smrtinc.com</div></div>		
WABANAKI PUBLIC HEALTH WABANAKI WELLNESS RECOVERY HOME; FAMILY & FRIENDS CENTER		
PROJECT LOCATION		
MOUNTING HEIGHTS AND ACCESSABILITY		
SHEET TITLE:		
SCALE: AS NOTED		
APPROVED BY:	RSC	PROJECT NO: 23039
DESIGNED BY:	RSC	
CHECKED BY:	ACL	
DRAWN BY:	ACL	
SMRT FILE:	G1003-23039	SHEET No. G1003



A00 - BASEMENT ②
1/8" = 1'-0"



A01 - OCCUPANCY ①
1/8" = 1'-0"

LIFE SAFETY LEGEND

- 3 HOUR RATED FIRE BARRIER
- 2 HOUR RATED FIRE BARRIER
- 1 HOUR RATED FIRE BARRIER
- 1 HOUR RATED SMOKE BARRIER
- SMOKE PARTITION
- EXIT DISCHARGE
- SMOKE CONTAINMENT BARRIER
- STANDPIPE OR HOSE VALVE CABINET
- FIRE DEPT. CONNECTION
- TRAVEL DISTANCE
- FIRE EXTINGUISHER CABINET
- FIRE EXTINGUISHER WALL HUNG
- EGRESS DOOR
- ACCESSIBLE ENTRY/EGRESS



AREA BOUNDARY

CODES & OTHER REQUIREMENTS:

- INTERNATIONAL RESIDENTIAL CODE 2015 (APPLICABLE PER MAINE STATUTES)
- NATIONAL ALLIANCE FOR RECOVERY RESIDENCES (NARR) - PHYSICAL ENVIRONMENT REQUIREMENTS

NOTE: WHERE PLUMBING CLEARANCES DO NOT MATCH IRC, THEY ARE MODIFIED TO MEET ADA ACCESSIBILITY GUIDELINES.

CODE SUMMARY				
ITEM	CODE	ACTUAL	IRCSECTION	Visible
A. OCCUPANCY				
Occupancy classification	R	R		Yes
Proposed Construction type	TYPE VB	EXISTING	Table 601 - IBC	Yes
Sprinkler req'd	N	N	313.2 Exception	Yes
C. STORIES, HEIGHT & AREA				
Stories	EXISTING	1		Yes
Height	EXISTING	EXISTING		Yes
Area (SF)	EXISTING	+/- 5000		Yes
D. EGRESS				
# of exits req'd	1	4	R311.2	Yes
Hallway width	36"	>36"	R311.6	Yes
Stair Width	36"/27" CLR	>36"	R311.7	Yes
Headroom	6'8"	>6'8"	R305	Yes
E. PLUMBING				
# of Bldg Occupants	67	9-12 MAX. SLEEPING		Yes
Water Closets		8		Yes
Lavatories		8		Yes
Showers	1-2 (NARR)	5		Yes
Kitchen & Service Sinks		4		Yes
F. ENERGY CONSERVATION CODE (Prescriptive Path)				
Zone Classification		Zone 6	(C301)	Yes
Roof Assemblies	R-30 ci	EXISTING		Yes
Walls, Above Grade	R-13 + R-7.5 ci	EXG+ R5		Yes
Walls, below-grade	R-7.5 ci	EXG+R5		Yes

REV	DESCRIPTION	DATE
0	PHASED FOR REBID	02-07-25

PHASED FOR REBID
02-07-25

CURRENT ISSUE STATUS:

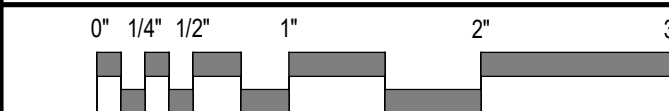
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1.877.700.7678
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WABANAKI PUBLIC HEALTH
WABANAKI WELLNESS RECOVERY
HOME; FAMILY & FRIENDS CENTER

PROJECT LOCATION

CODE COMPLIANCE PLAN

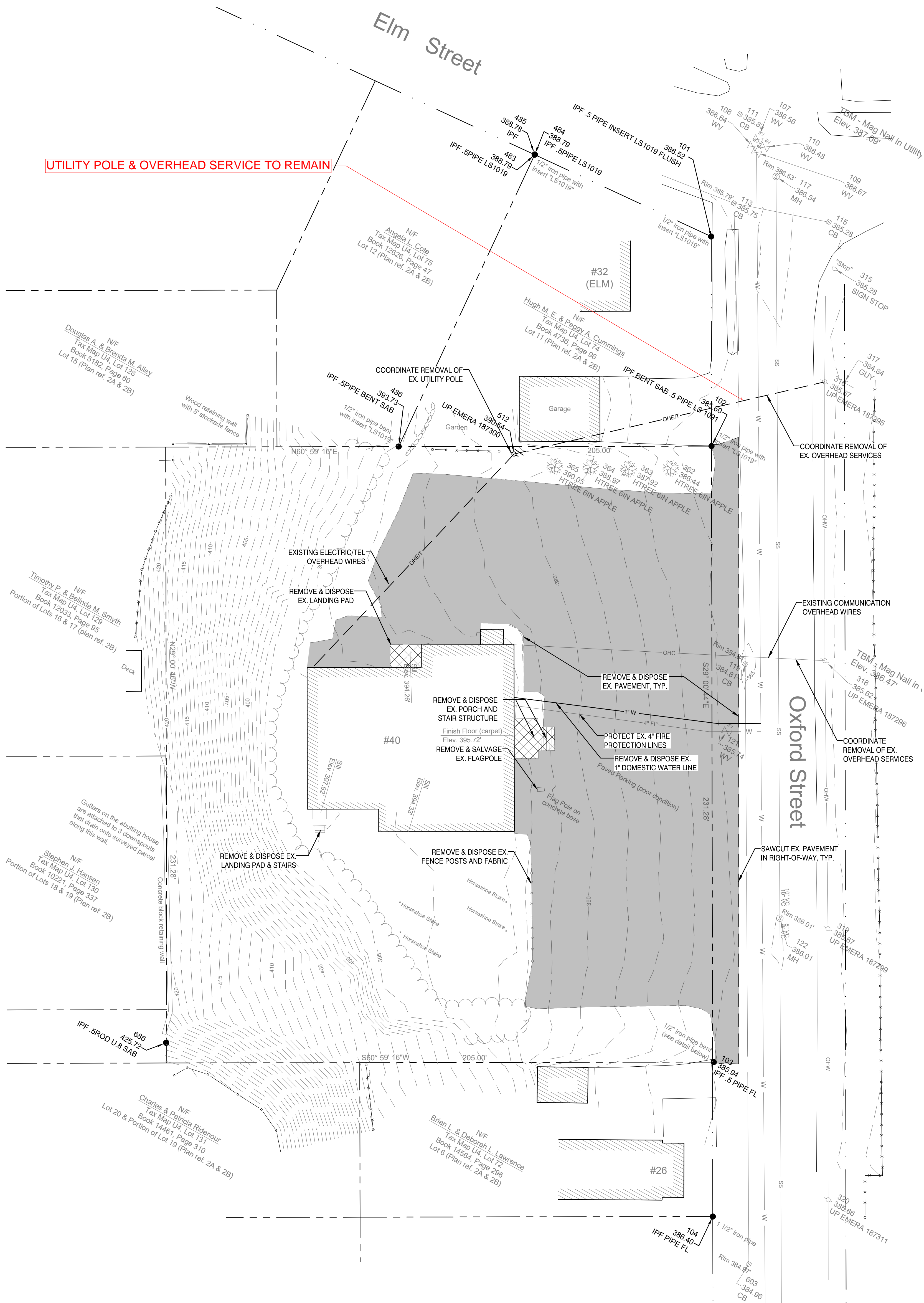
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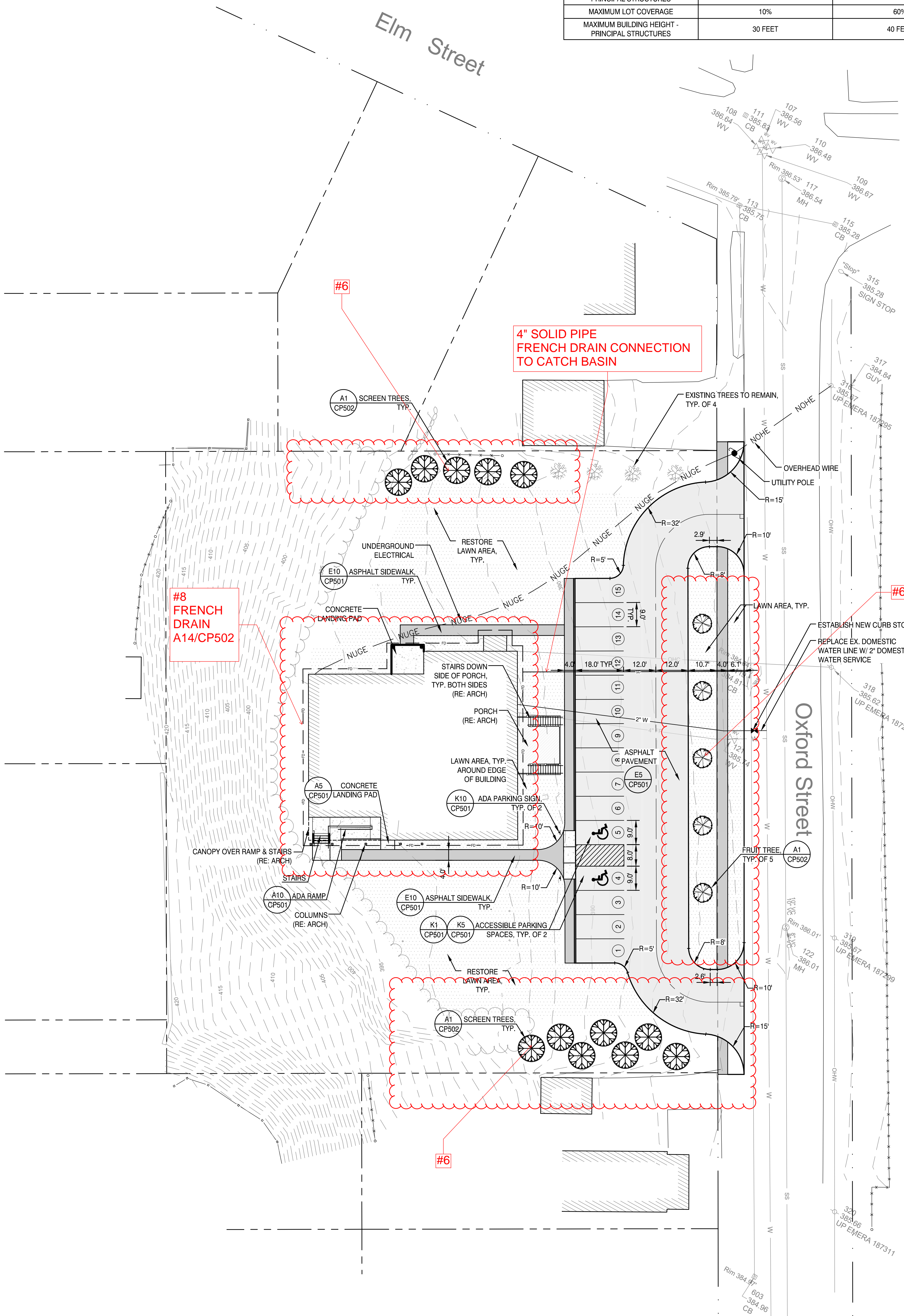
SCALE: AS NOTED

APPROVED BY:	RSC	PROJECT NO:	23039
DESIGNED BY:	RSC		
CHECKED BY:	ACL		
DRAWN BY:	ACL		
SMRT FILE:	GI103-23039	SHEET No.	GI103

ZONING REQUIREMENTS			
DOWNTOWN RESIDENTIAL DISTRICT (RD)			
CRITERIA	EXISTING	REQUIRED	PROVIDED
USE	SERVICE CLUBS	ALLOWED	BOARDING CARE FACILITIES-ALLOWED
MINIMUM LOT SIZE	47,422 SQ. FT. (MEASURED)	5,000 SQ. FT.	47,422 SQ. FT. (SAME)
MINIMUM ROAD FRONTAGE	200 FEET	50 FEET	200 FEET
MINIMUM FRONT YARD SETBACK FROM RIGHT OF WAY	75 FEET	10 FEET	68 FEET
MINIMUM SIDE SETBACK	68 FEET	5 FEET	68 FEET
MINIMUM REAR SET BACK - PRINCIPAL STRUCTURES	53 FEET	20 FEET	53 FEET
MAXIMUM LOT COVERAGE	10%	60%	10%
MAXIMUM BUILDING HEIGHT - PRINCIPAL STRUCTURES	30 FEET	40 FEET	30 FEET

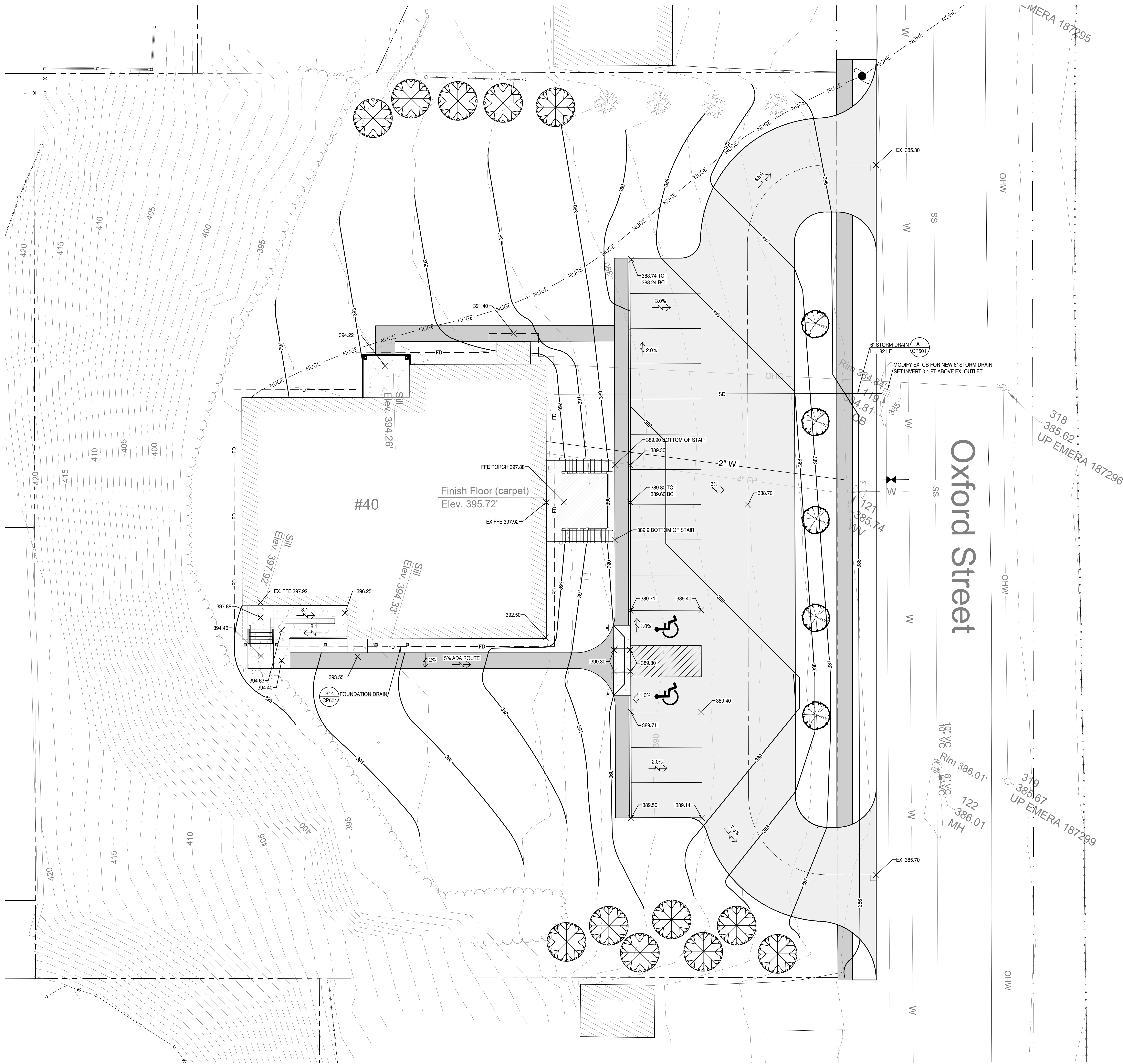


EXISTING CONDITIONS & DEMOLITION PLAN (A10)



SITE LAYOUT AND UTILITY PLAN (A1)

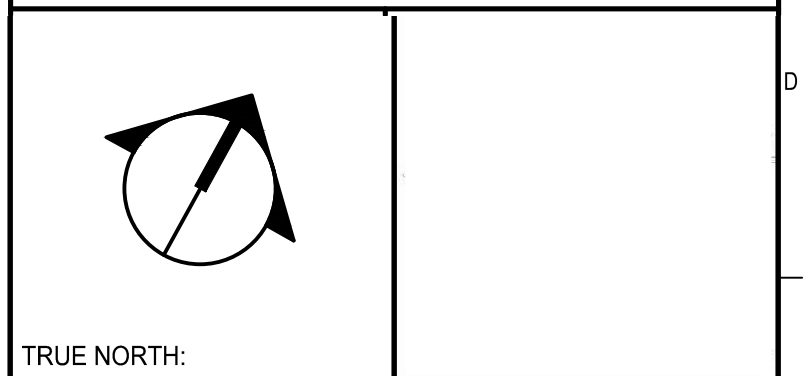
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40 OXFORD STREET, MILLINOCKET, MAINE 04462		
SITE AND UTILITY PLANS		
SHEET TITLE:		
SCALE: 1"=20'-0"		
PROJECT MANAGER:	JTA	PROJECT NO: 23039.00
A/E OF RECORD:	JTA	
JOB CAPTAIN:		
DRAWN BY:	MAF	
SMRT FILE:	CP101-23039.dwg	SHEET NO.
		CP101



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02-07-25

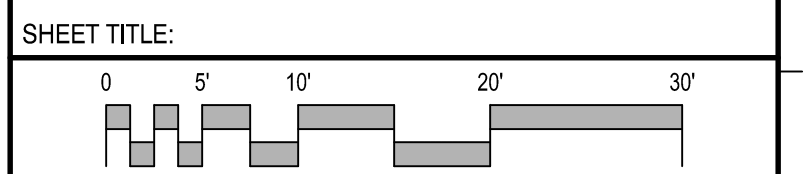
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**WABANAKI PUBLIC HEALTH
WABANAKI WELLNESS RECOVERY
HOME; FAMILY & FRIENDS CENTER**

40 OXFORD STREET, MILLINOCKET, MAINE 04462
SITE GRADING & DRAINAGE PLAN



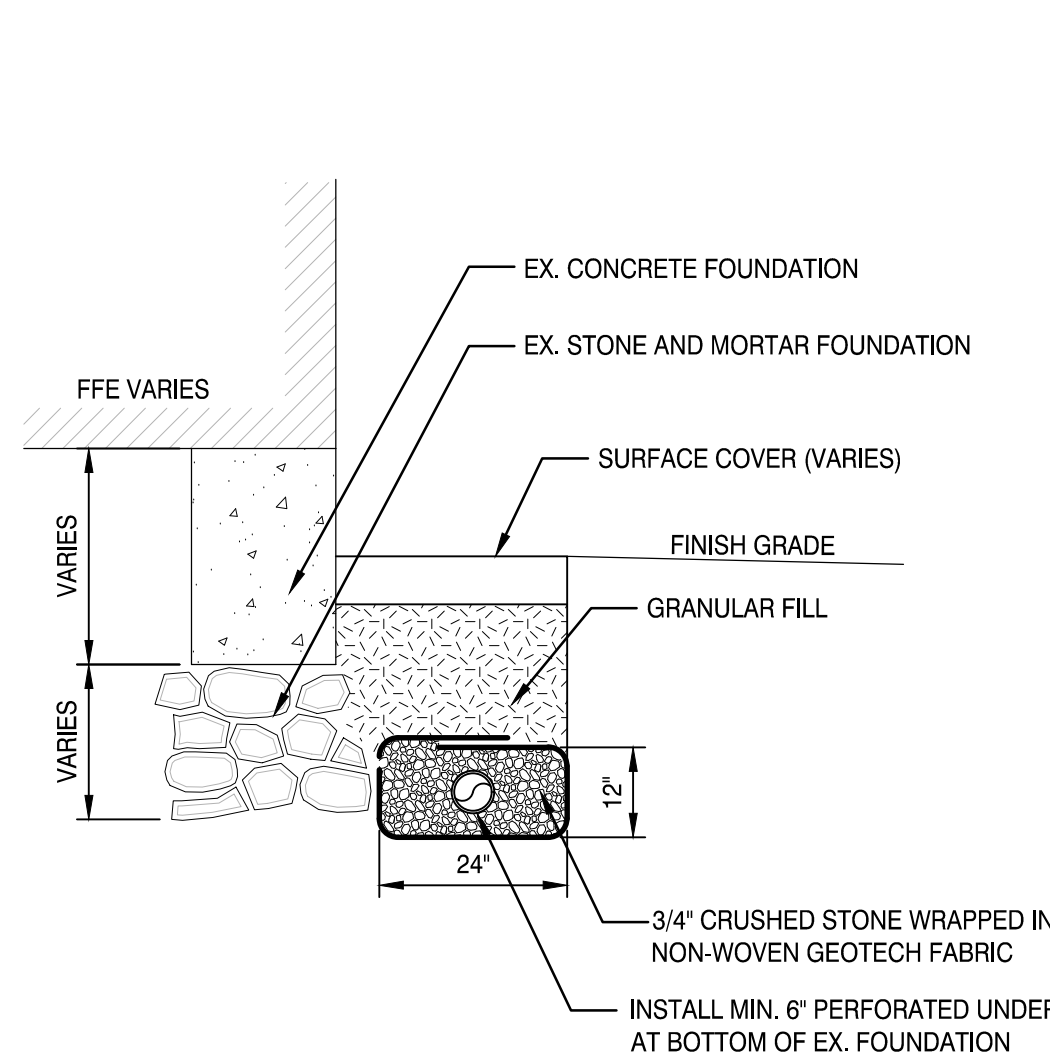
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A/E OF RECORD:	JTA	JOB CAPTAIN:	-
DRAWN BY:	MAF	SMART FILE:	CG101-23039.dwg
SHEET TITLE:		SHEET No.	

SITE GRADING & DRAINAGE PLAN

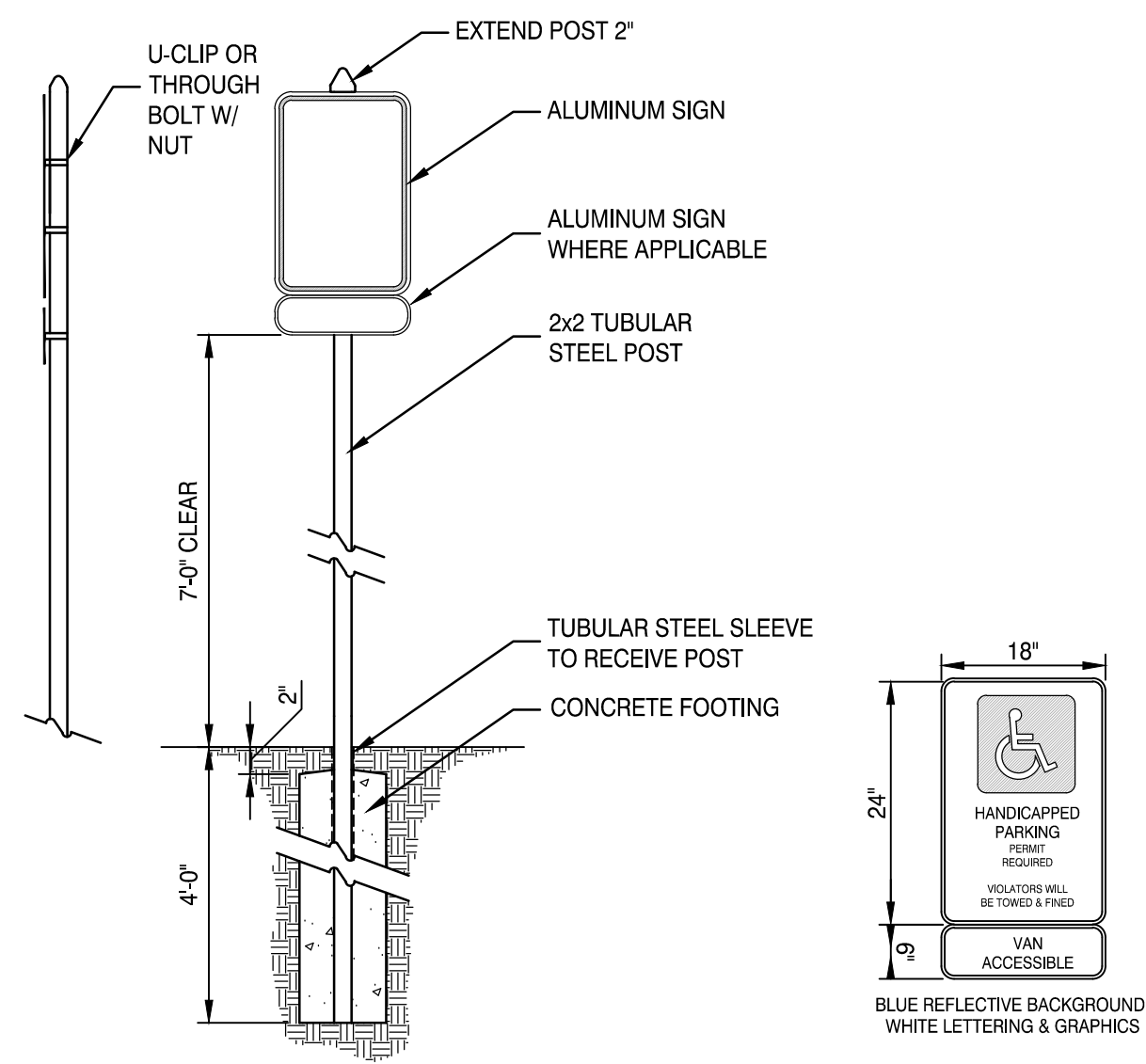
A1

CG101

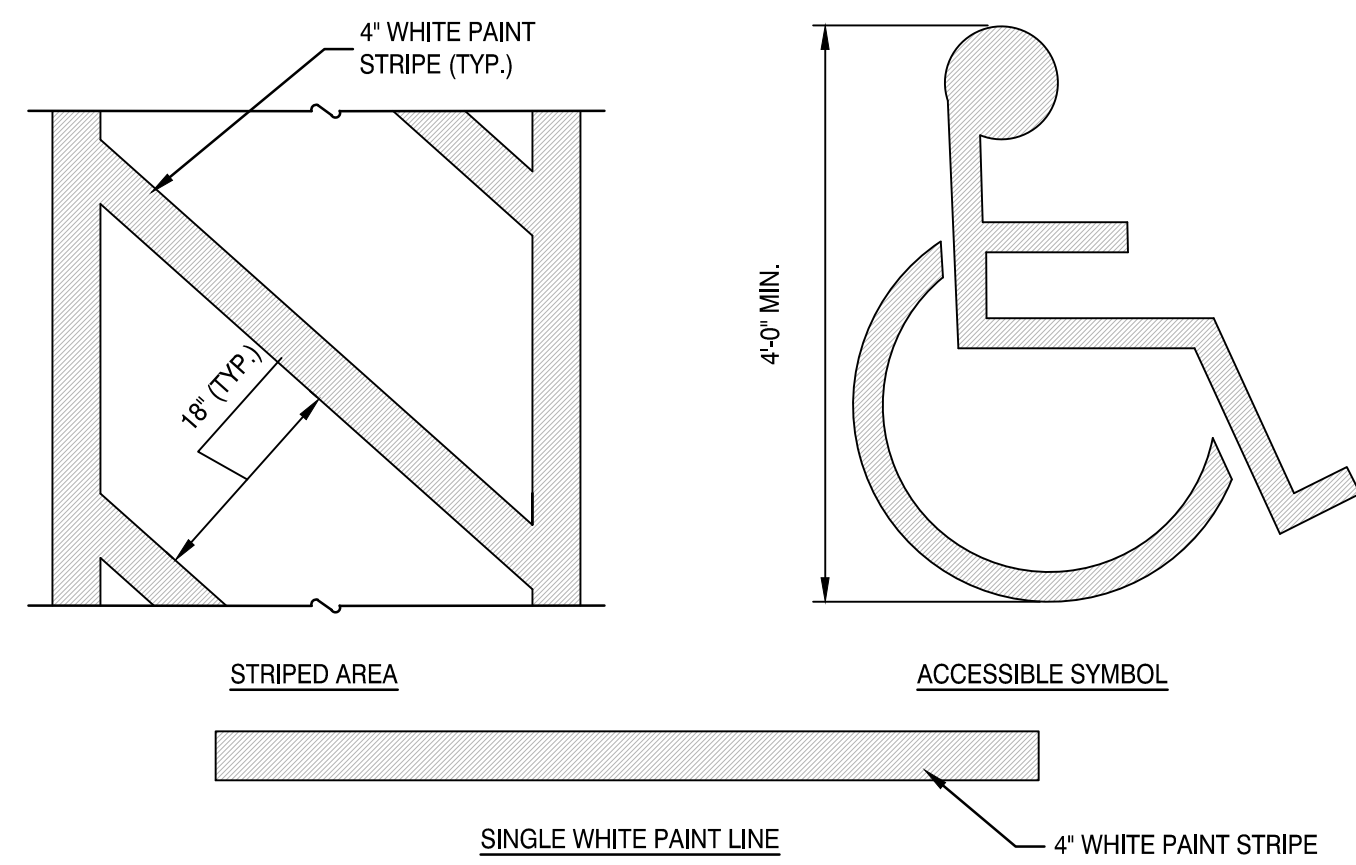
1" = 10'



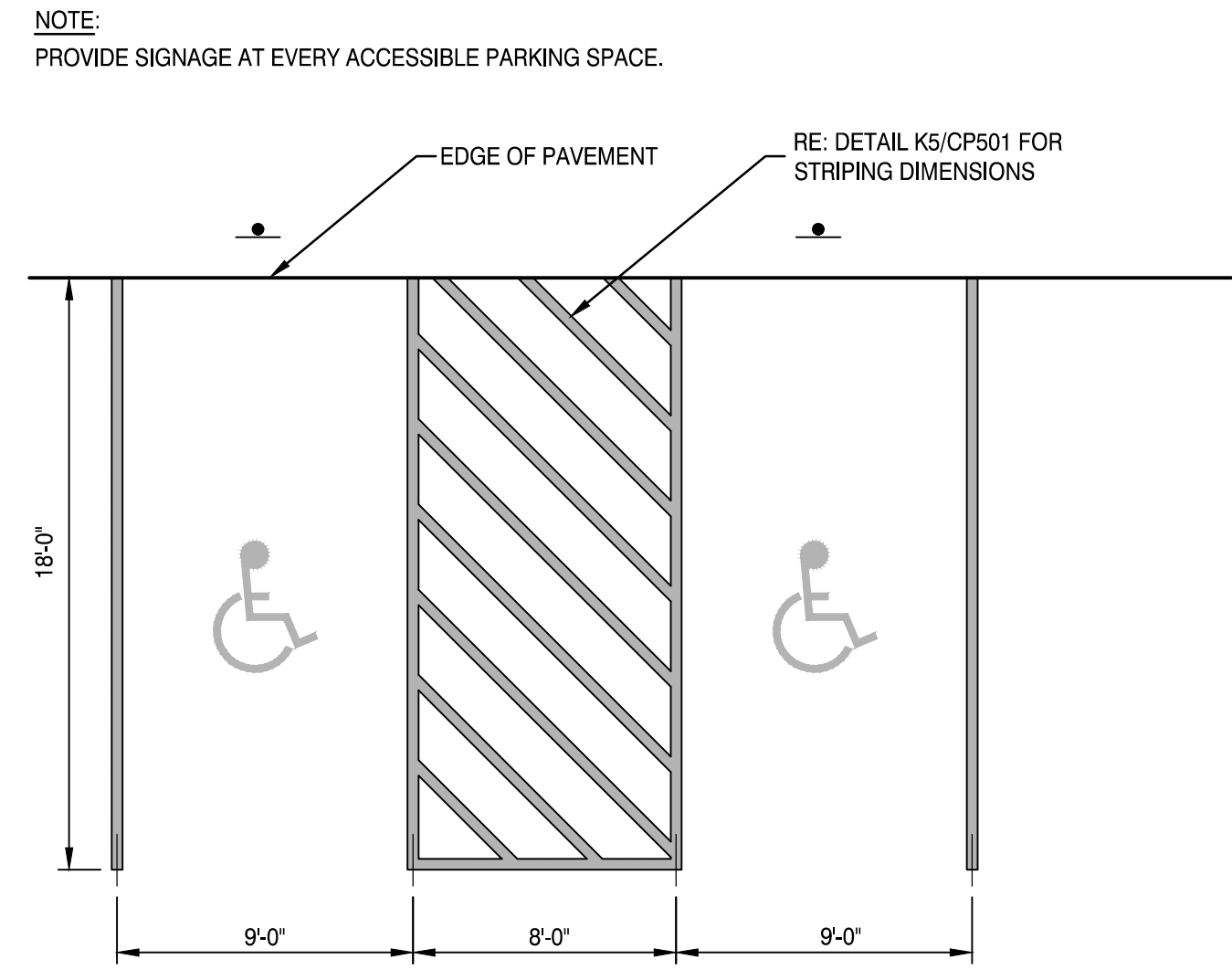
FOUNDATION DRAIN (K14)
NOT TO SCALE



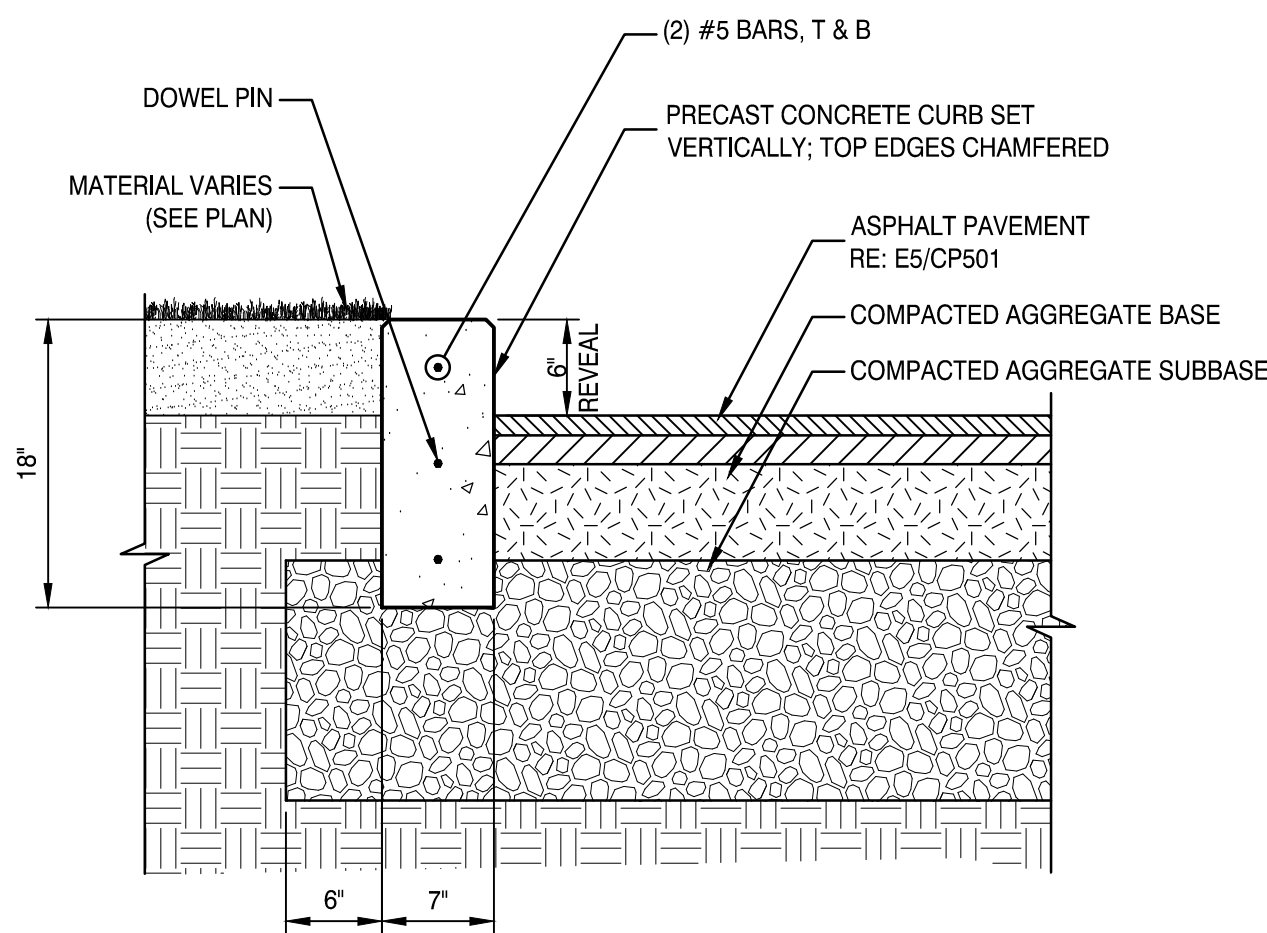
ADA SIGNAGE (K10)
NOT TO SCALE



PAVEMENT / PARKING MARKINGS (K5)
NOT TO SCALE

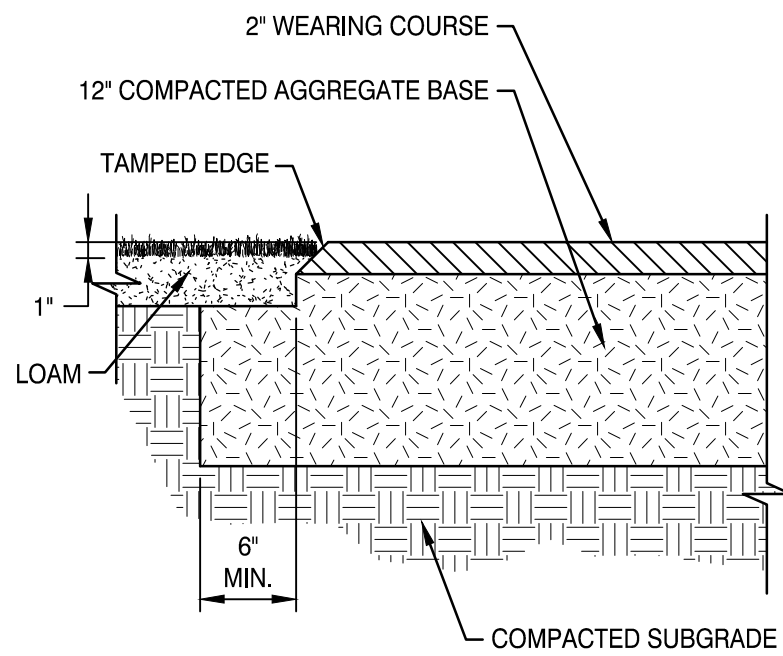


ADA ACCESSIBLE PARKING LAYOUT (K1)
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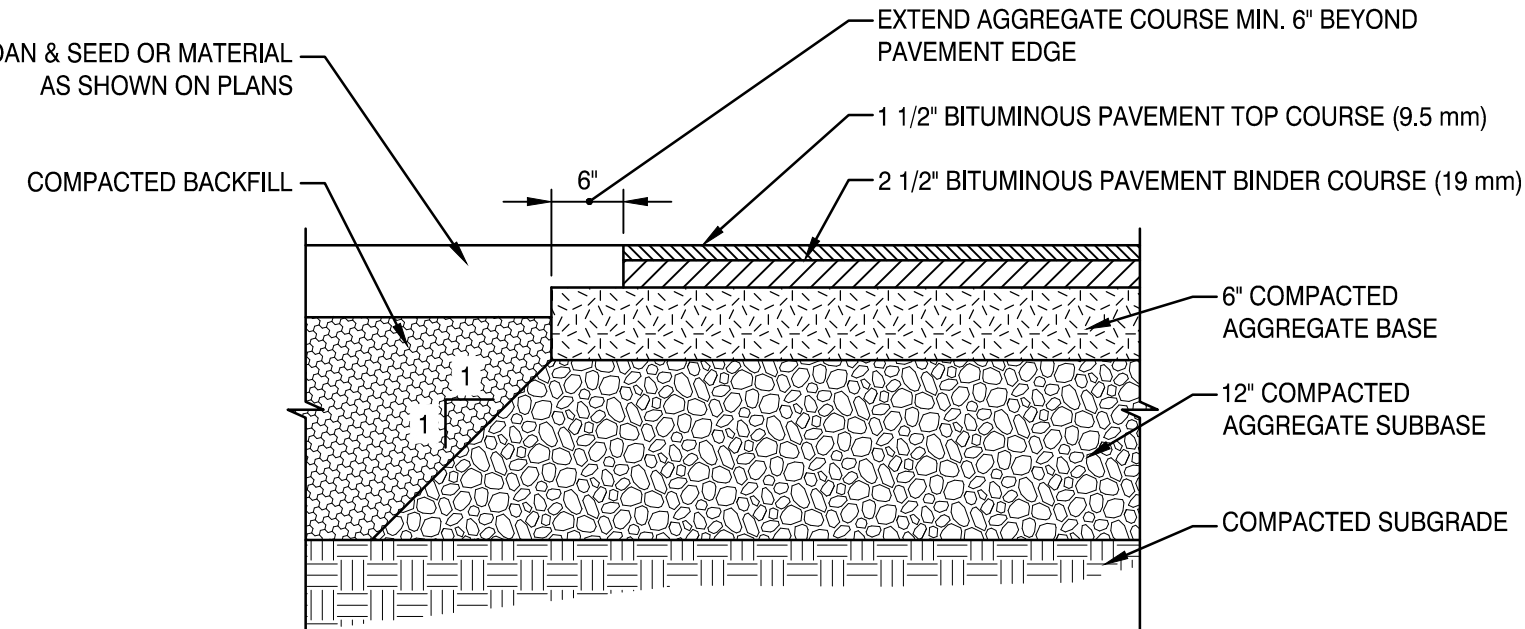


- NOTES:
1. PRECAST SECTIONS SHALL BE 6'-0" MAXIMUM LENGTH.
 2. PROVIDE TIPDOWN END SECTIONS AT ALL CURB ENDS.

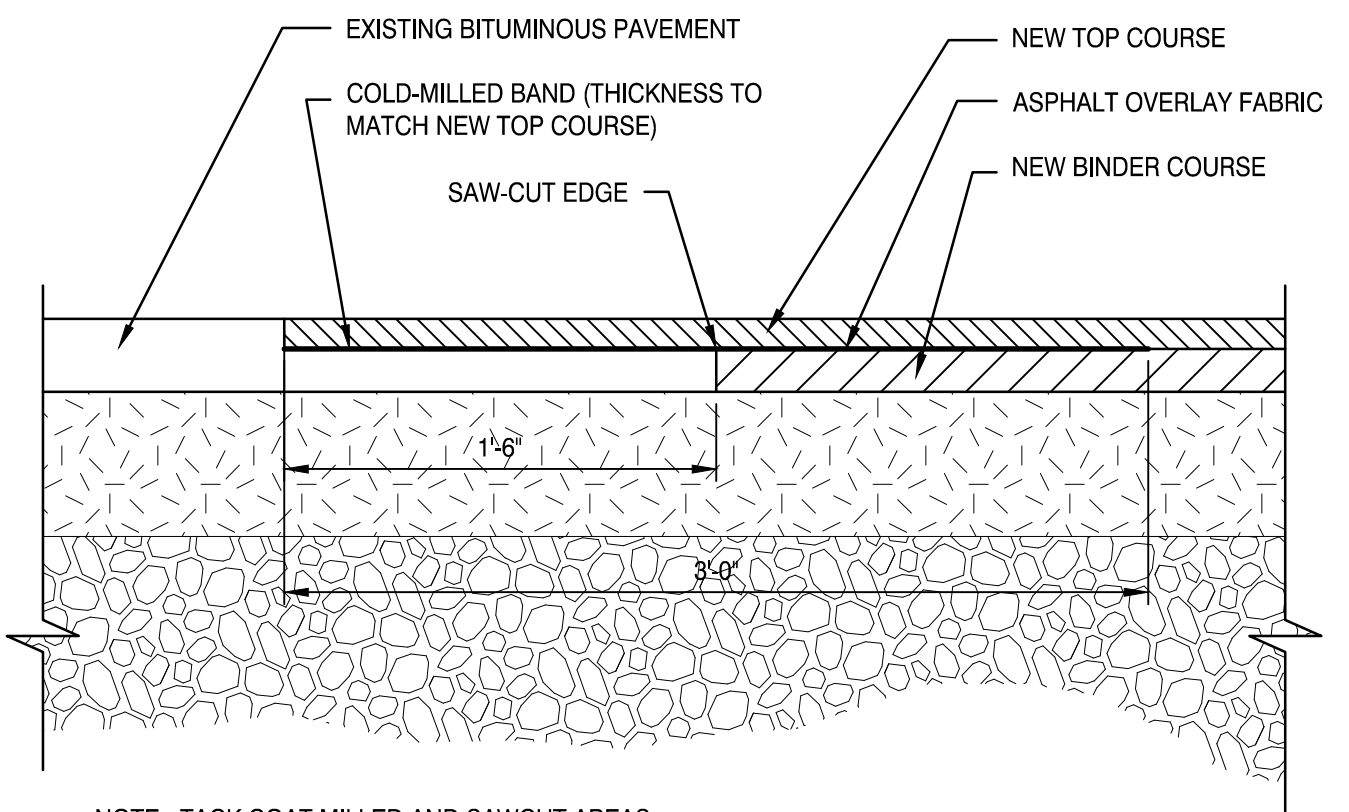
CONCRETE CURB (E14)
NOT TO SCALE



ASPHALT SIDEWALK (E10)
NOT TO SCALE

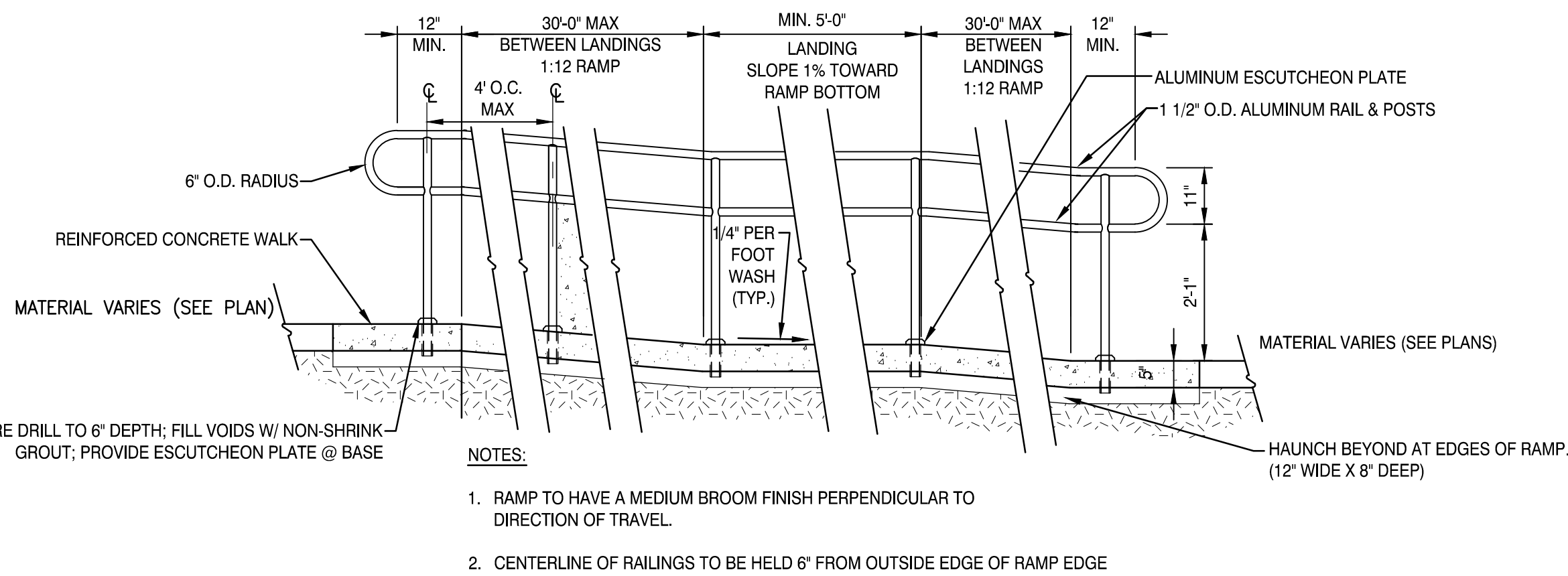


ASPHALT PAVEMENT (E5)
NOT TO SCALE



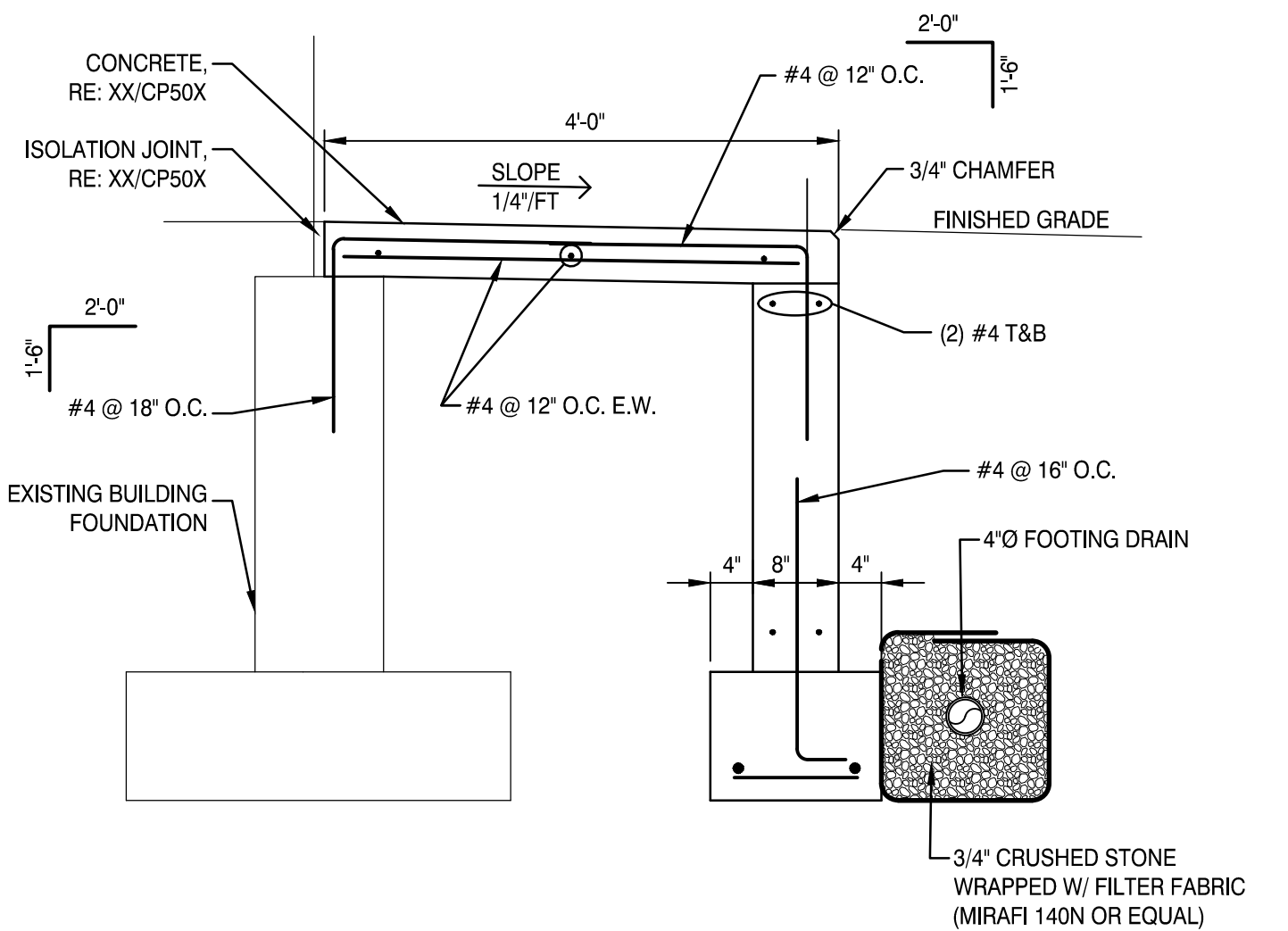
NOTE: TACK COAT MILLED AND SAWCUT AREAS.

ASPHALT PAVEMENT BUTT JOINT (E1)
NOT TO SCALE

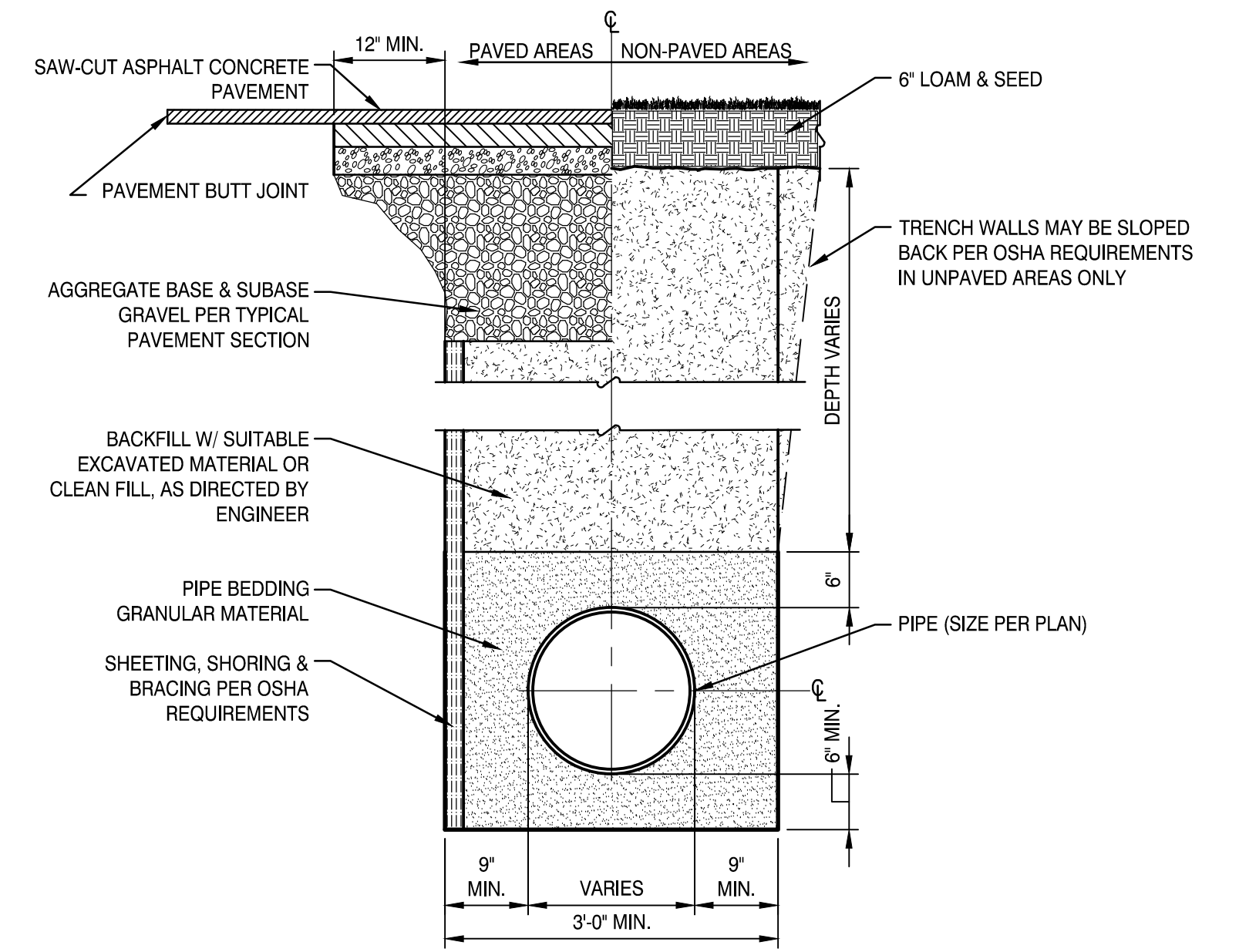


- NOTES:
1. RAMP TO HAVE A MEDIUM BROOM FINISH PERPENDICULAR TO DIRECTION OF TRAVEL.
 2. CENTERLINE OF RAILINGS TO BE HELD 6" FROM OUTSIDE EDGE OF RAMP EDGE


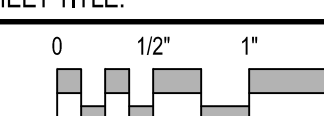
ADA RAMP (A10)
NOT TO SCALE



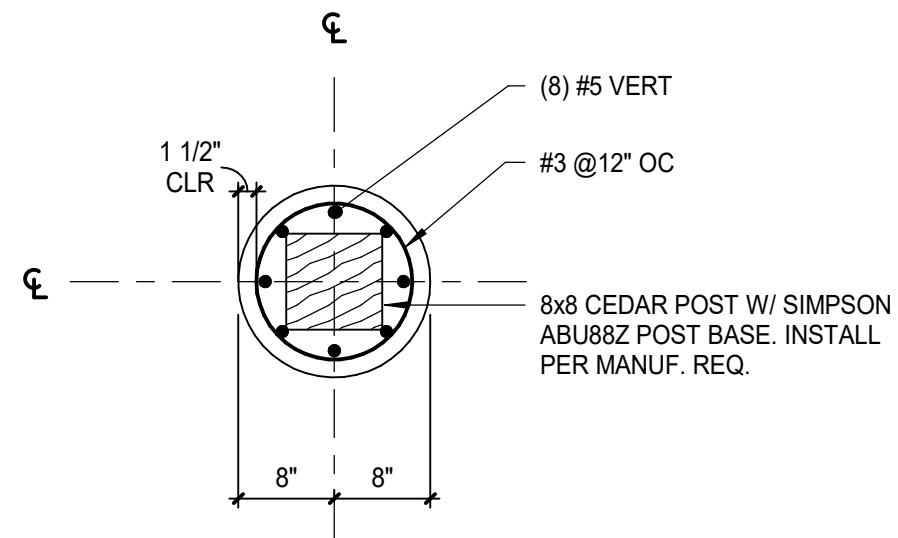
CONCRETE LANDING PAD (A5)
NOT TO SCALE



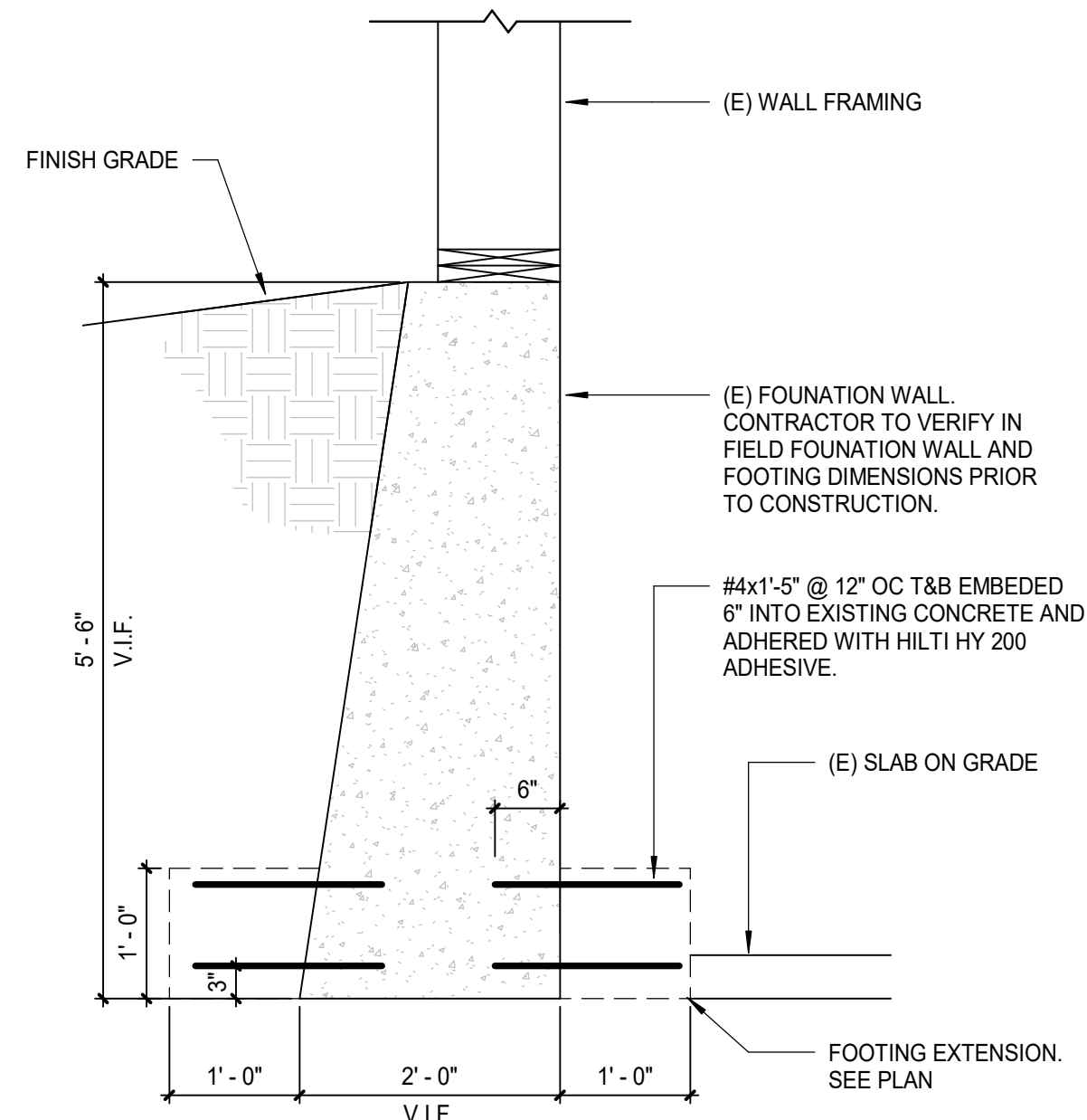
UTILITY TRENCH (A1)
NOT TO SCALE

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PHASED FOR REBID 02-07-25		
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WABANAKI PUBLIC HEALTH WABANAKI WELLNESS RECOVERY HOME; FAMILY & FRIENDS CENTER		
40 OXFORD STREET, MILLINOCKET, MAINE 04462		
SITE DETAILS		
SHEET TITLE:		
		
SCALE: AS NOTED		
PROJECT MANAGER:	JTA	PROJECT NO: 23039.00
A/E OF RECORD:	JTA	
JOB CAPTAIN:	MAF	
DRAWN BY:	MAF	
SMRT FILE:	CP501-23039.dwg	SHEET No. ©COPYRIGHT 2023 SMRT INC.
CP501		

FOOTING SCHEDULE				
LABEL	PLAN DIM.	THICKNESS	REINFORCEMENT	COMMENTS
F4	4' - 0"x4' - 0"	1' - 0"	(5) #5 EA WAY - BOTTOM	
F5	5' - 0"x5' - 0"	1' - 0"	(6) #5 EA WAY - BOTTOM	



PIER P1
3/4" = 1'-0"



SECTION F14
3/4" = 1'-0"

NOTE: REFER TO SF101 FOR SLAB ON GRADE INFORMATION

#1
Techno posts in lieu of piers and footings: Techno posts would be an acceptable modification to the foundation structure. It appears that techno posts should have enough capacity to fully remove all 18 of the isolated footings associated with the project.

SEE STRUCTURAL SHEET SF101

INSPECT (E) RETAINING FOUNDATION WALL FOR LOOSDAMAGED BLOCKS. REMOVE AND REPLACE WITH NEW CMU MATCHING THE EXISTING SHAPE AND SIZE. SEE DETAIL G1/SB501

5" SLAB ON GRADE REINFORCED WITH 6x6x2 1x2.1 WWF. MATCH EXISTING BASEMENT SLAB ELEVATION

(E) FOOTING
(E) MASONRY FOUNDATION WALL

TOC (-1' - 7")
TOC (-2' - 8 1/2")

MATCH (E) FOOTING DEPTH 6'-0" BELOW FINISH GRADE (MIN.)

TOC (-4' - 8")
TOC (-4' - 8")

TOC (-3' - 11 5/8")

MATCH (E) FOOTING DEPTH 6'-0" BELOW FINISH GRADE (MIN.)

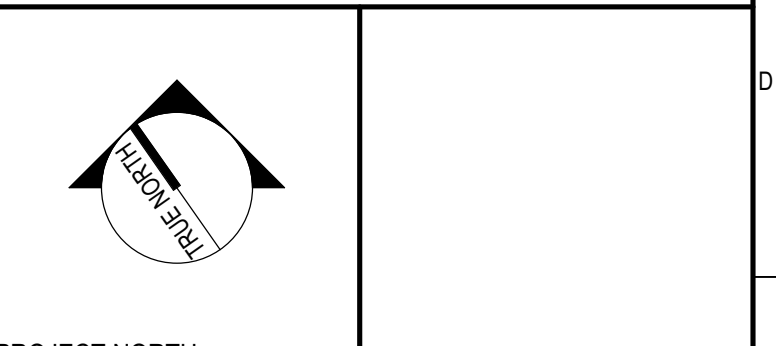
FOUNDATION PLAN
1/4" = 1'-0"

- FOUNDATION PLAN NOTES:
- SEE S-001 FOR STRUCTURAL GENERAL NOTES
 - INDICATES SPAN DIRECTION OF 1/2" (32/16) SHEATHING.
 - TOP OF FOOTING ELEVATION IS 6'-0" MIN BELOW FINISH GRADE UNLESS INDICATED TOP (+/-0'-0") FROM TOP OF CONCRETE ELEVATION. ALIGN WITH (E) FOUNDATION IF DEEPER THAN 6'-0" BELOW GRADE
 - "FX" INDICATES FOOTING TYPE. SEE FOOTING SCHEDULE FOR ADDITIONAL INFORMATION.
 - "PX" INDICATES PIER TYPE. SEE DETAILS FOR ADDITIONAL INFORMATION.
 - TOP OF PIER ELEVATION = +1'-0" (MIN) ABOVE FINISH GRADE UNLESS NOTED OTHERWISE.

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0	PHASED FOR REBID	02-07-25

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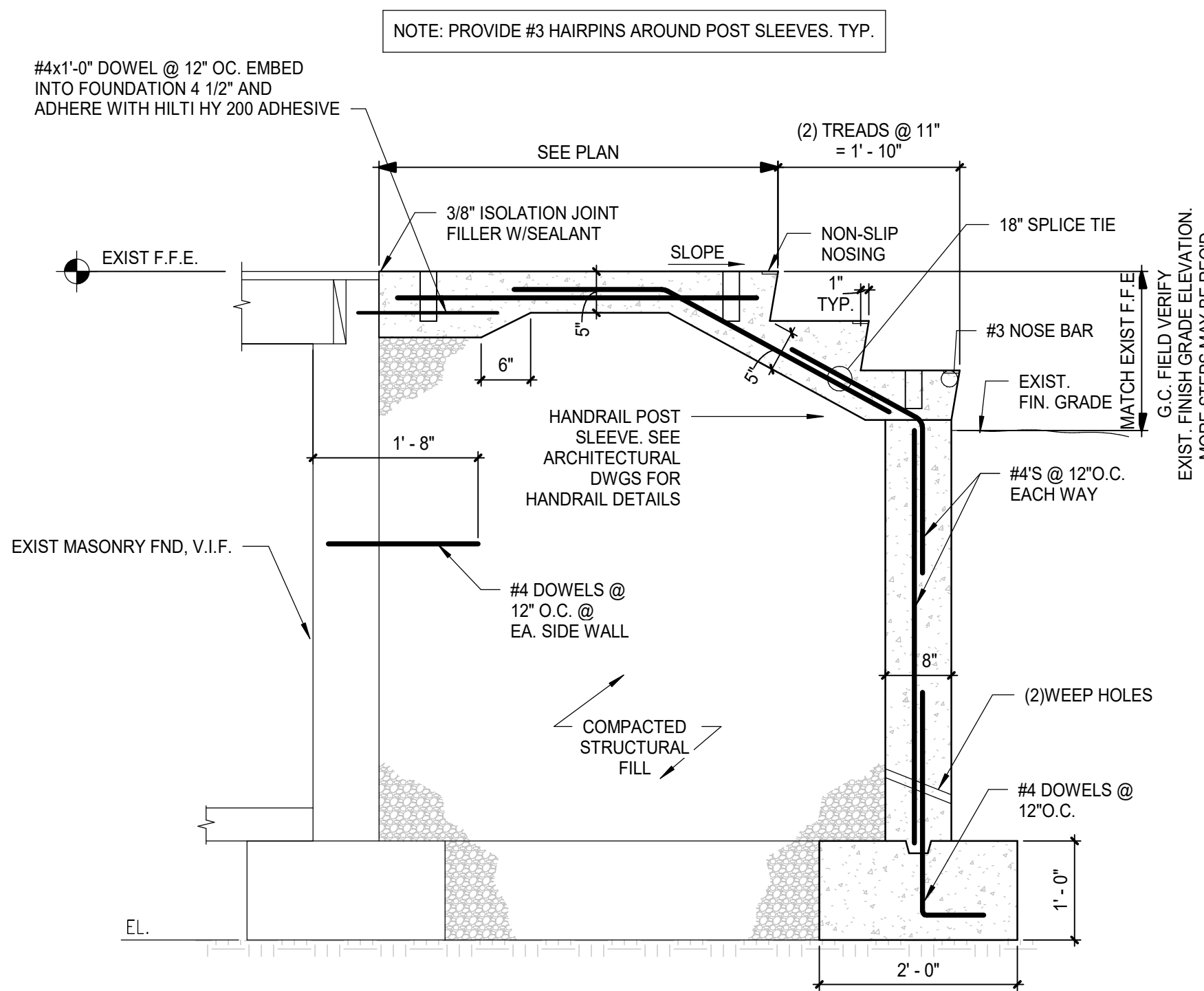
MILLINOCKET, MAINE
FOUNDATION PLAN

SHEET TITLE:
0' 1/4" 1/2" 1' 2' 3'

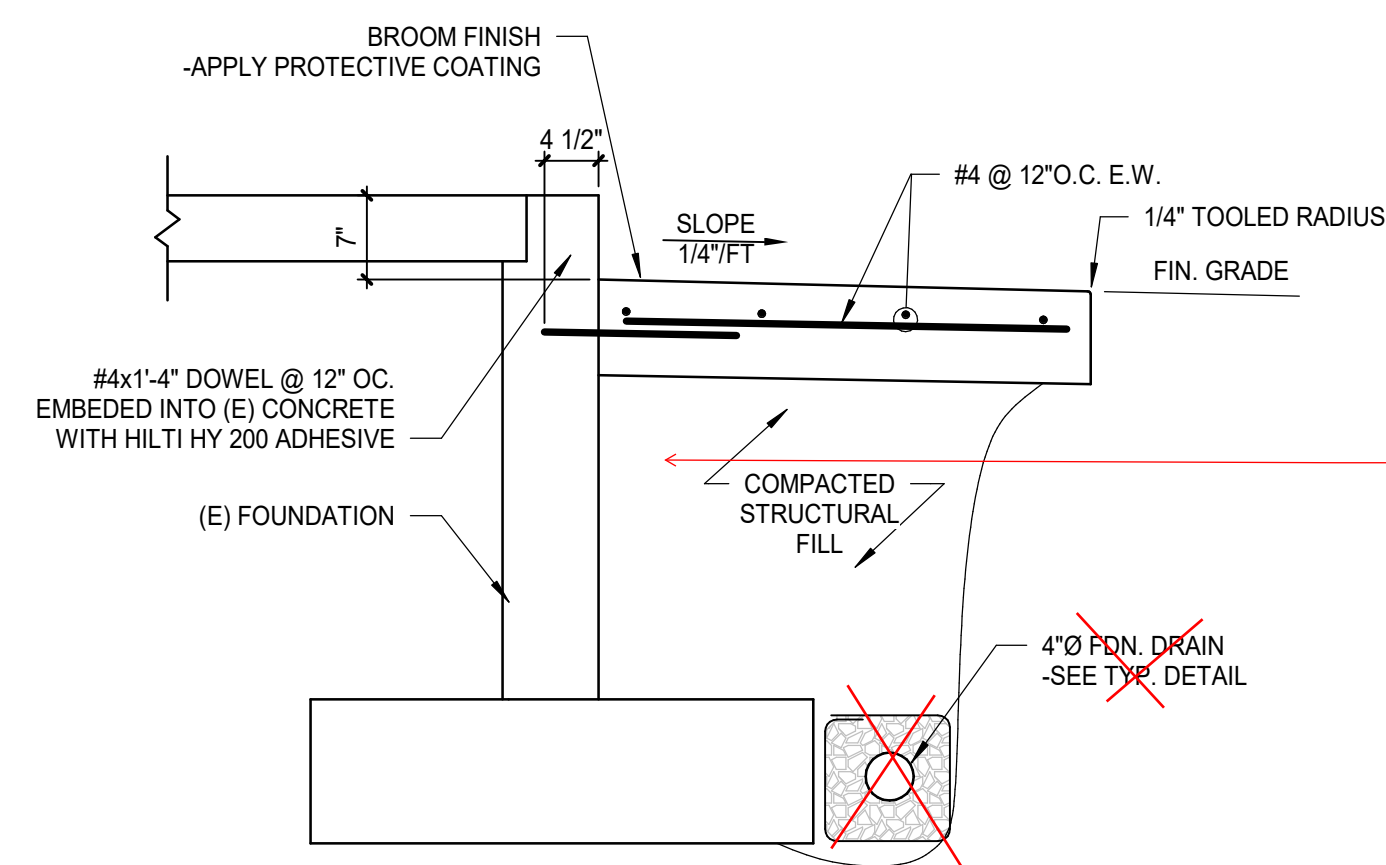
SCALE: AS NOTED

PROJECT MANAGER: RSC PROJECT NO: 23039
AVE OF RECORD: MJK
JOB CAPTAIN: RSC
DRAWN BY: CJD

SB101
SMRT FILE: SB101-23039 SHEET No. 02/07/25

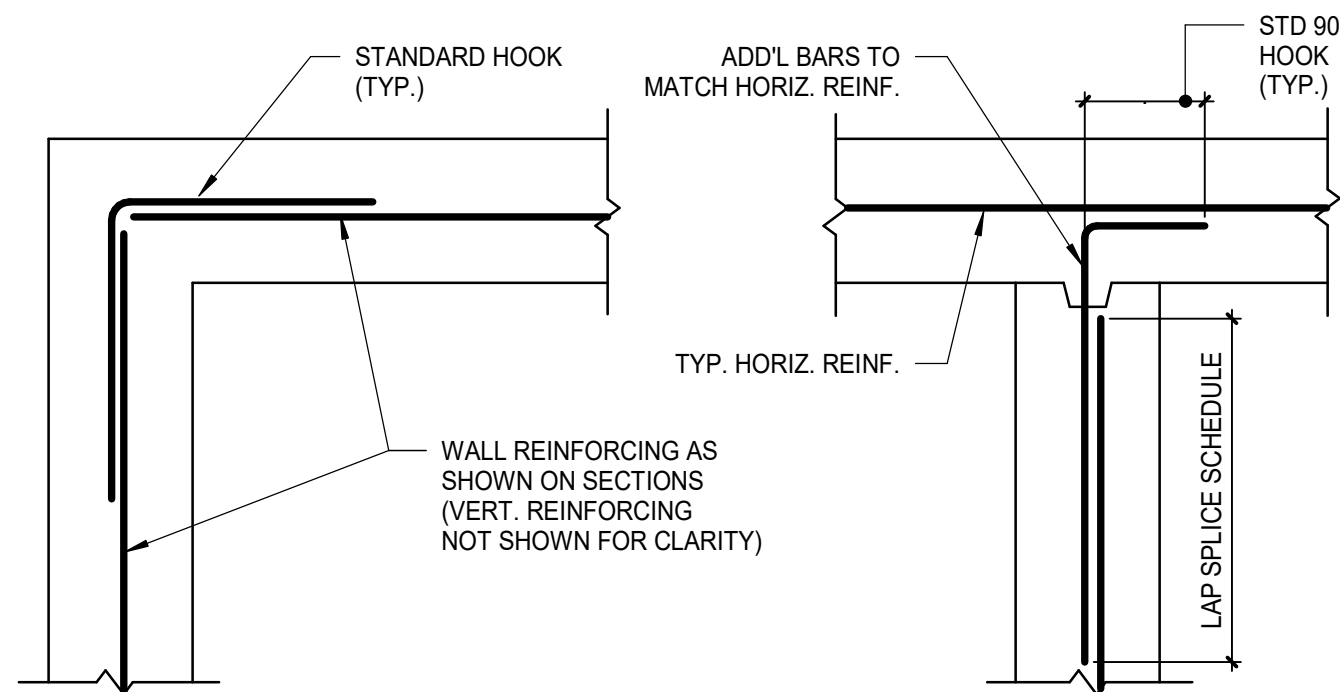


TYPICAL CONCRETE STAIRS (K13)
3/4" = 1'-0"

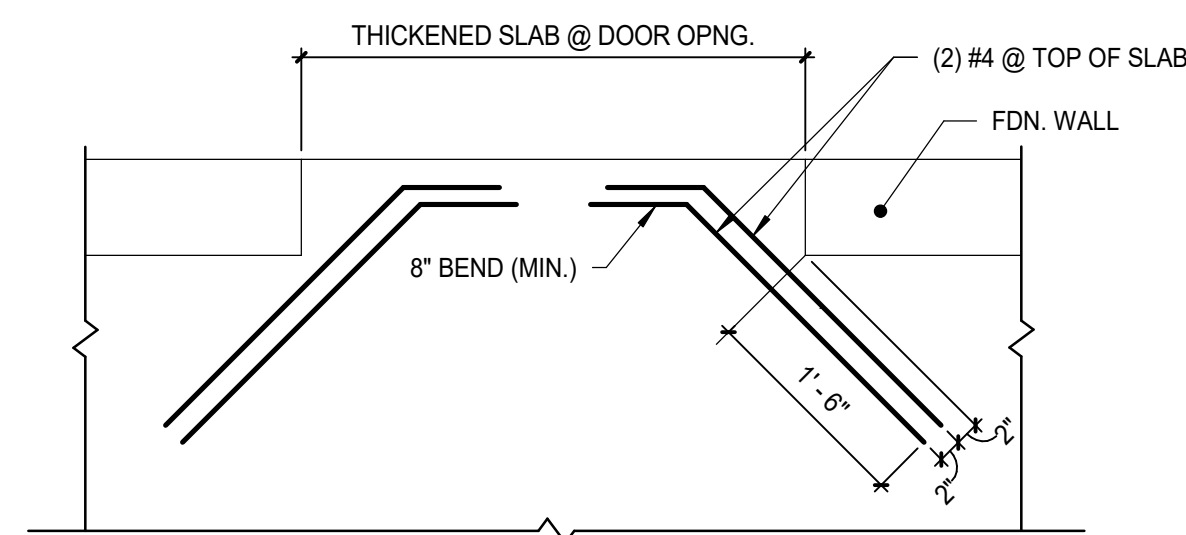


TYPICAL ALTERNATE SECTION @ DOOR (G13)
3/4" = 1'-0"

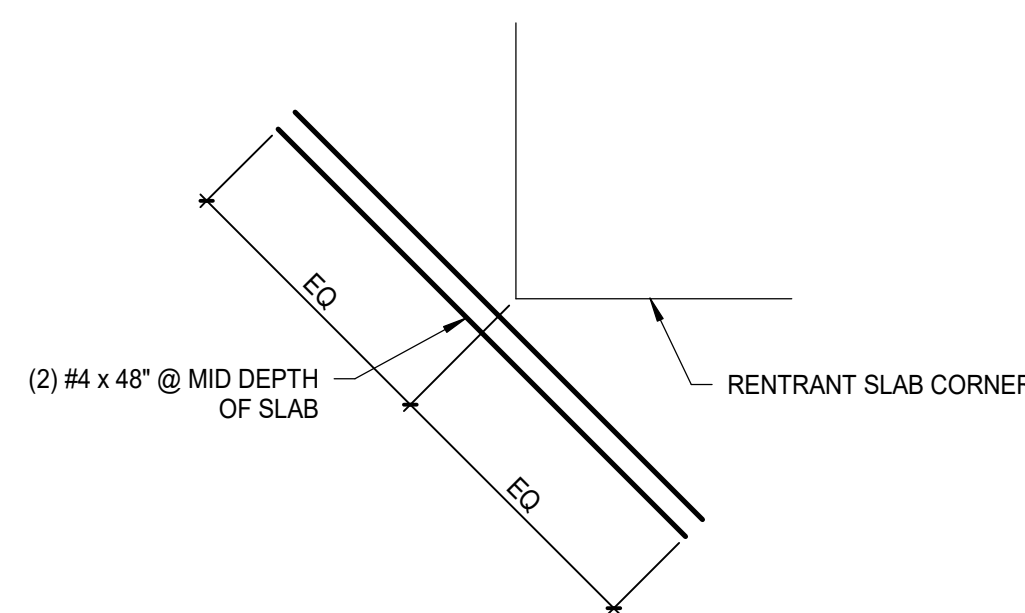
#8 FRENCH DRAIN A14/CP502



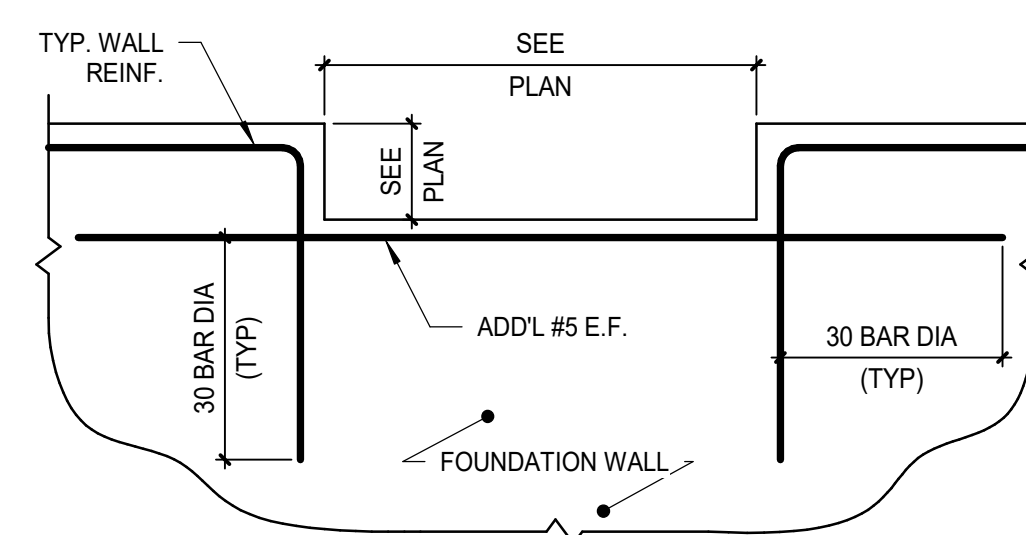
TYPICAL WALL CORNER INTERSECTING REINFORCING (C14)
3/4" = 1'-0"



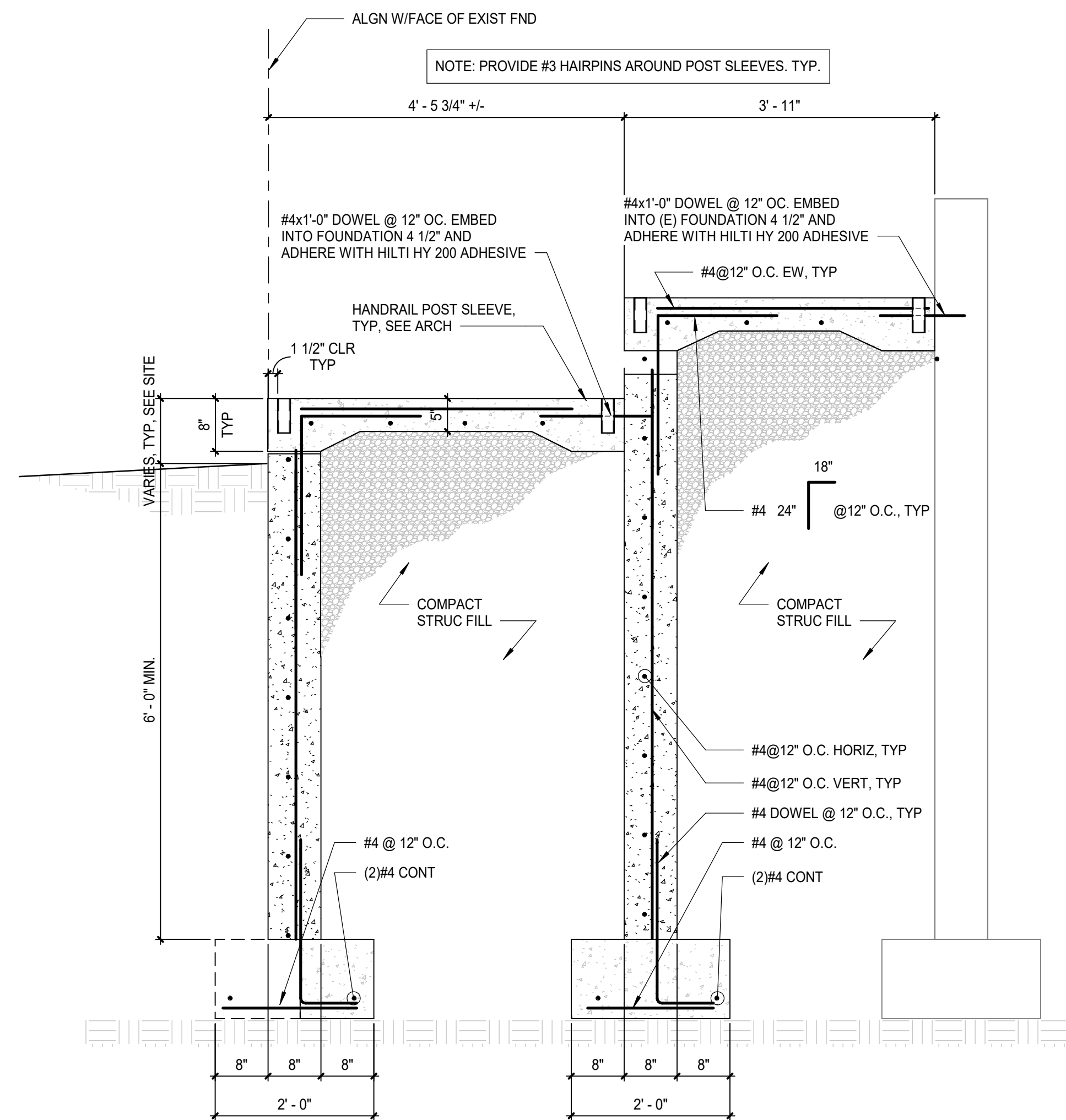
TYPICAL REENTRANT SLAB REINFORCING DETAIL @ DOOR (A14)
3/4" = 1'-0"



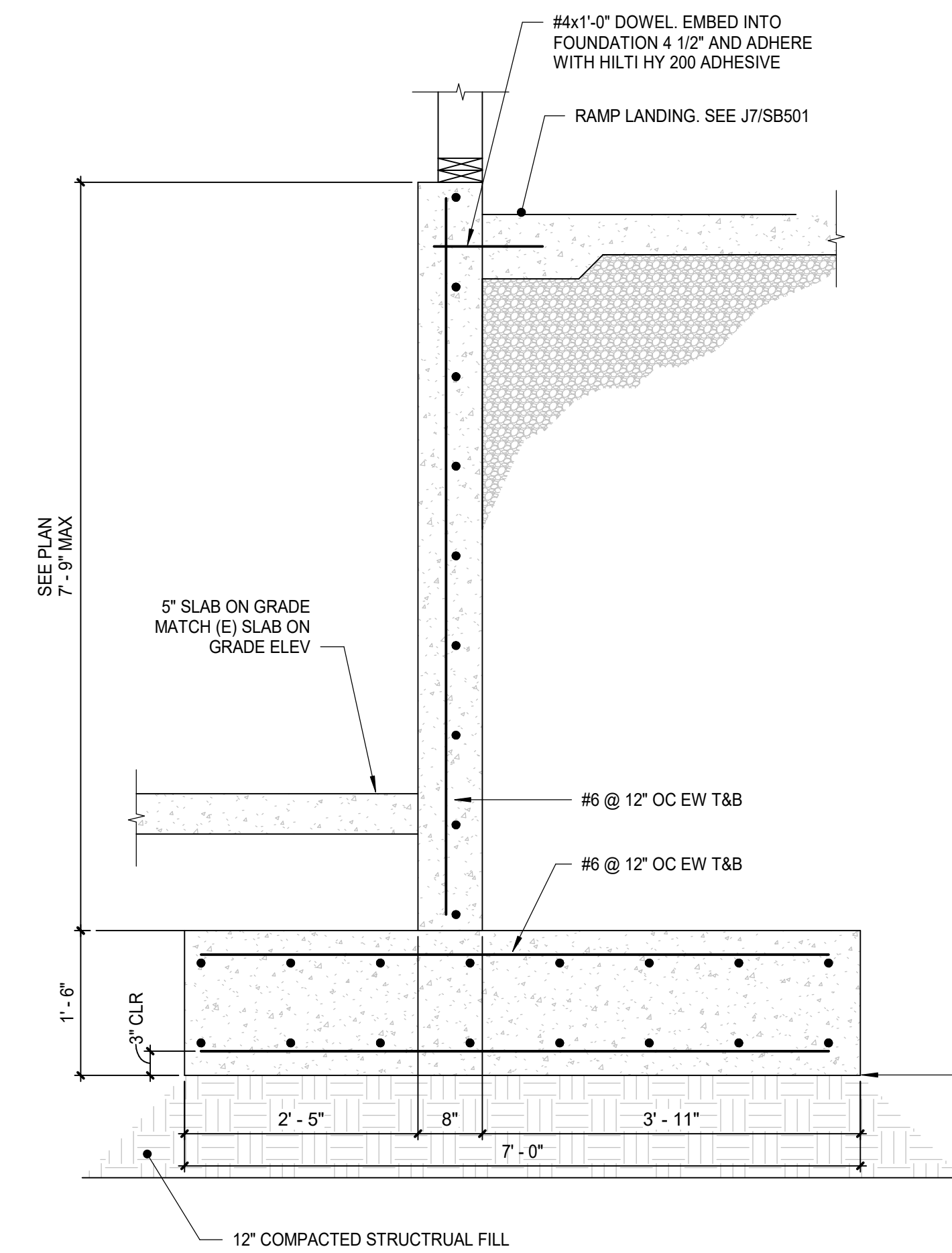
TYPICAL REENTRANT SLAB REINFORCING DETAIL (A11)
3/4" = 1'-0"



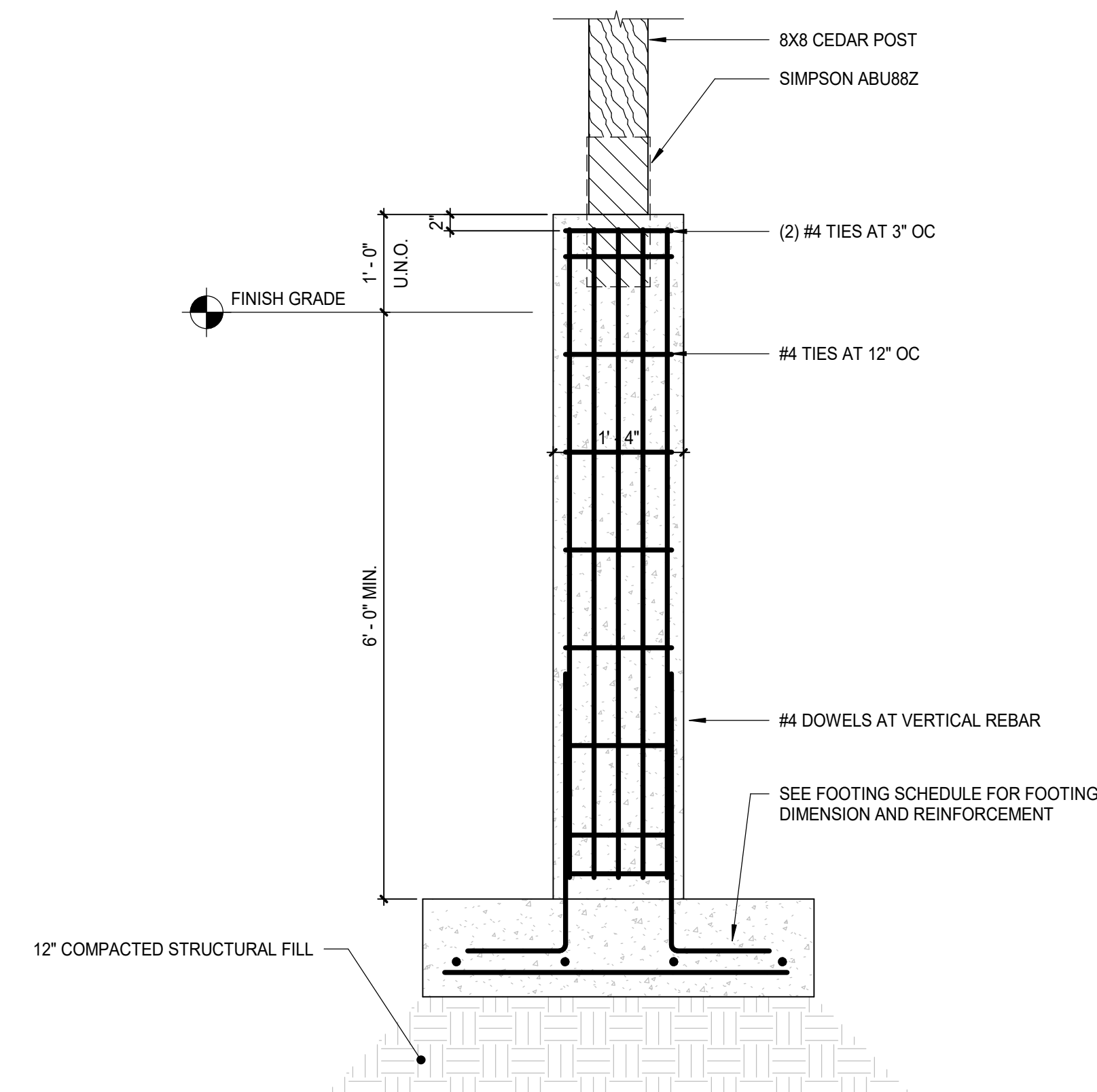
TYPICAL STEP IN TOP OF FOUNDATION WALL (A7)
3/4" = 1'-0"



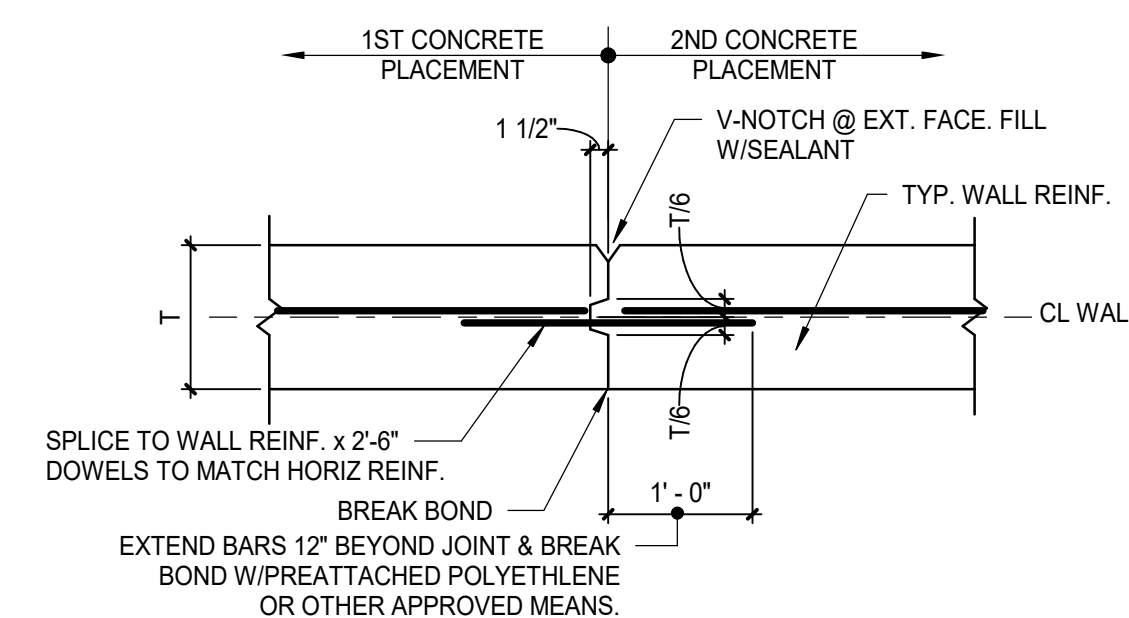
SECTION J7
3/4" = 1'-0"



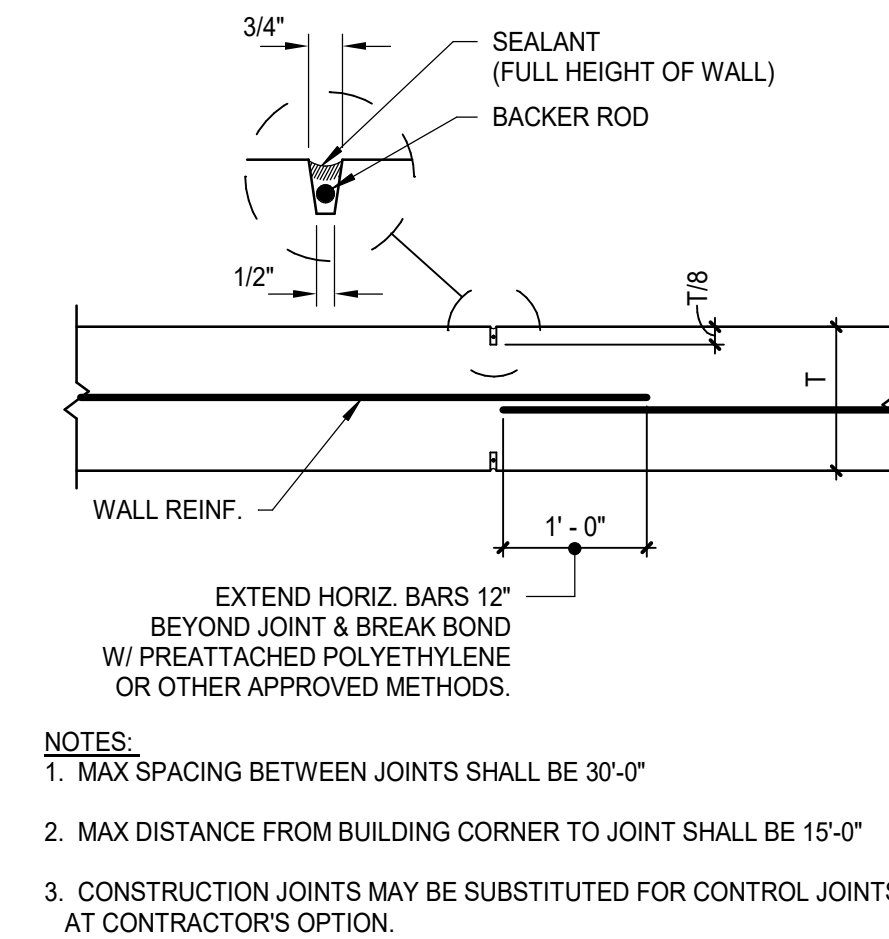
RETAINING WALL SECTION (J1)
3/4" = 1'-0"



SECTION C4
3/4" = 1'-0"



TYPICAL CONSTRUCTION JOINT IN WALL (A4)
3/4" = 1'-0"



TYPICAL CONTROL JOINT IN WALL (A1)
3/4" = 1'-0"

SPLICE LENGTH TABLES

WHERE LAP SPLICE LENGTHS FOR REINFORCING STEEL ARE NOT SPECIFIED, PROVIDE SPLICE LENGTHS IN ACCORDANCE W/ THE FOLLOWING TABLES:

BAR SIZE	3000 PSI				4000 PSI				4500 PSI			
	0.75" <= CONCRETE COVER < 2.0"		CONCRETE COVER >= 2.0"		0.75" <= CONCRETE COVER < 2.0"		CONCRETE COVER >= 2.0"		0.75" <= CONCRETE COVER < 2.0"		CONCRETE COVER >= 2.0"	
	TOP	OTHER	TOP	OTHER	TOP	OTHER	TOP	OTHER	TOP	OTHER	TOP	OTHER
#3	32"	25"	21"	16"	28"	21"	18"	14"	26"	20"	17"	13"
#4	43"	33"	28"	22"	37"	28"	25"	19"	35"	27"	23"	18"
#5	53"	41"	36"	27"	46"	36"	31"	24"	44"	34"	29"	22"
#6	64"	49"	43"	33"	55"	43"	37"	28"	52"	40"	35"	27"
#7	93"	72"	62"	48"	81"	62"	54"	42"	76"	59"	51"	39"
#8	107"	82"	71"	55"	92"	71"	62"	47"	87"	67"	58"	45"
#9	120"	92"	80"	62"	104"	80"	69"	53"	98"	75"	65"	50"
#10	134"	103"	89"	68"	116"	89"	77"	59"	109"	84"	73"	56"

NOTES:

- "TOP BARS" ARE HORIZONTAL BARS WITH MORE THAN 12" OF CONCRETE CAST BELOW THE BAR.
- TABLE ASSUMPTIONS:
 - NORMAL WEIGHT CONCRETE
 - UNCOATED REINFORCING
 - CLEAR SPACE BETWEEN BARS IS TWICE BAR DIAMETER OR LARGER

SPLICE LENGTH TABLES (C8)
3/4" = 1'-0"

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0	PHASED FOR REBID	02-07-25

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**WABANAKI PUBLIC HEALTH
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MILLINOCKET, MAINE

FOUNDATION DETAILS

SHEET TITLE:



SCALE: AS NOTED

PROJECT MANAGER: RSC PROJECT NO: 23039

AVE OF RECORD: MJK

JOB CAPTAIN: RSC

DRAWN BY: CJD

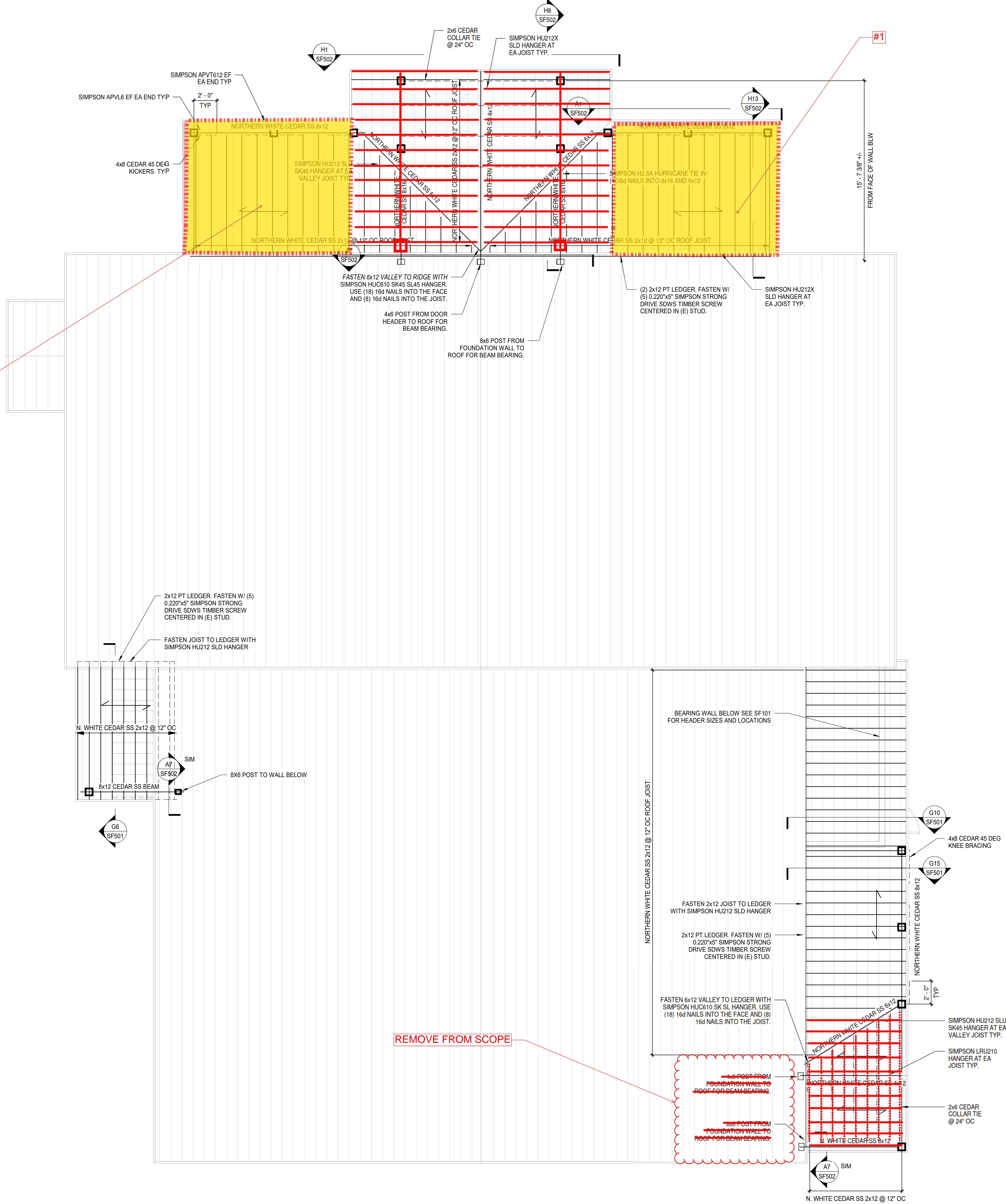
SMRT FILE: SB501-23039 SHEET No. SB501

#1

Techno posts in lieu of piers and footings: Techno posts would be an acceptable modification to the foundation structure. It appears that techno posts should have enough capacity to fully remove all 18 of the isolated footings associated with the project.

Modification of the front porch framing: The below rough framing plan shows the proposed modifications to the front porch. Yellow shaded areas indicate areas that will be removed from scope. Valley framing is also no longer required, this reduces the need for as many heavy timbers. Typical dimension lumber 2x12s would be used to frame the modified roof. The addition of two new posts bearing on techno posts at the exterior of the building also removes the need to reinforce the existing front building wall and the need to reinforce the existing footing in this area (Detail F14/SB101).

#1



ROOF FRAMING PLAN

A1

ROOF FRAMING PLAN NOTES:

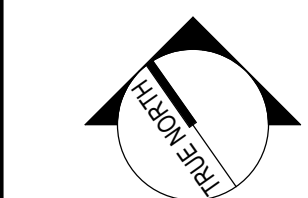
1. SEE S-001 FOR STRUCTURAL GENERAL NOTES

2. INDICATES SPAN DIRECTION OF 3/4" (24/16) SHEATHING

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0	PHASED FOR REBID	02-07-25

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02-07-25

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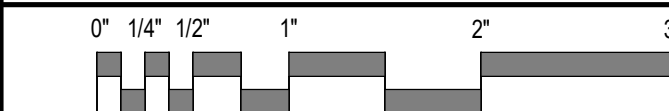
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MILLINOCKET, MAINE

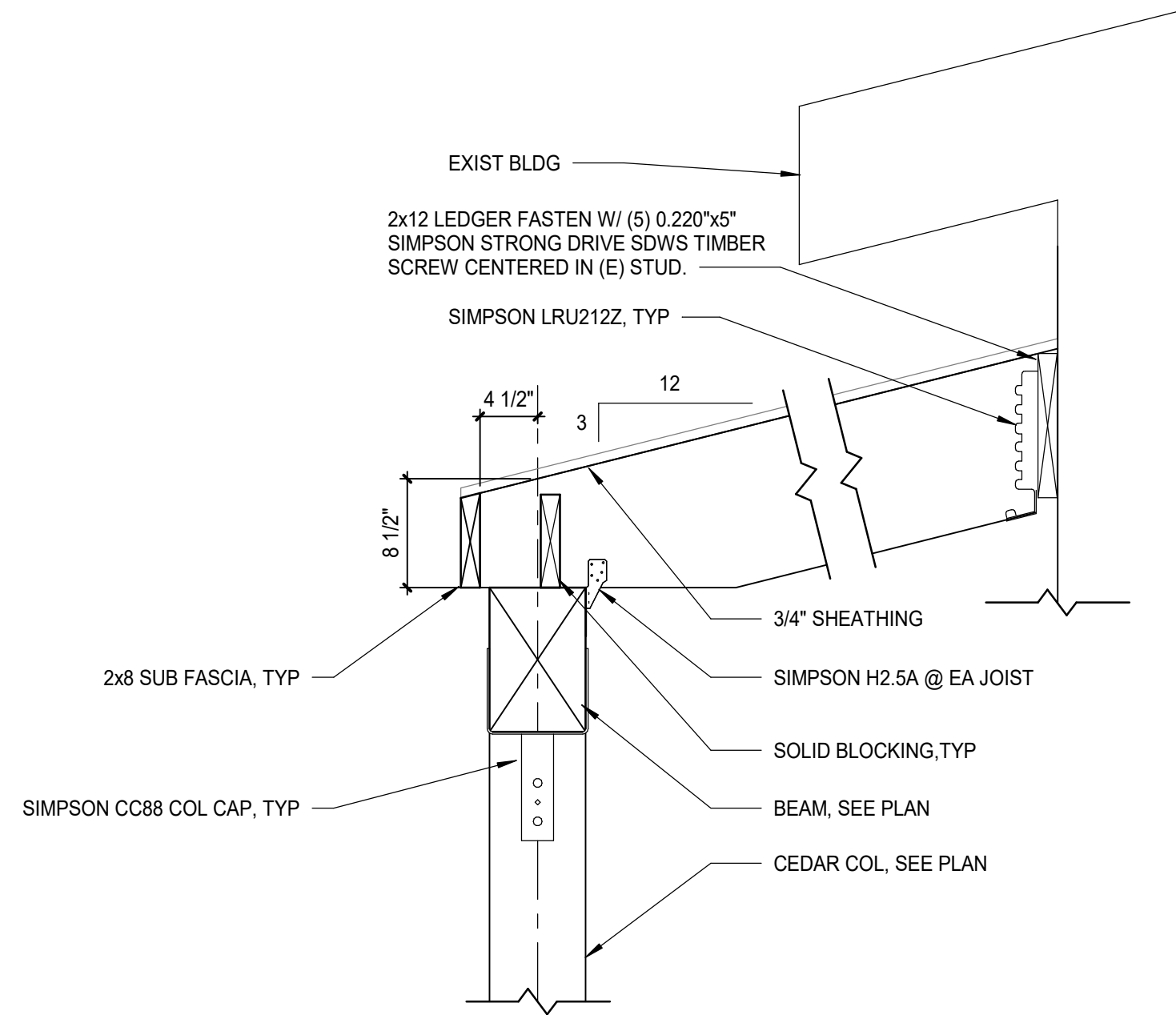
ROOF FRAMING PLAN

SHEET TITLE:

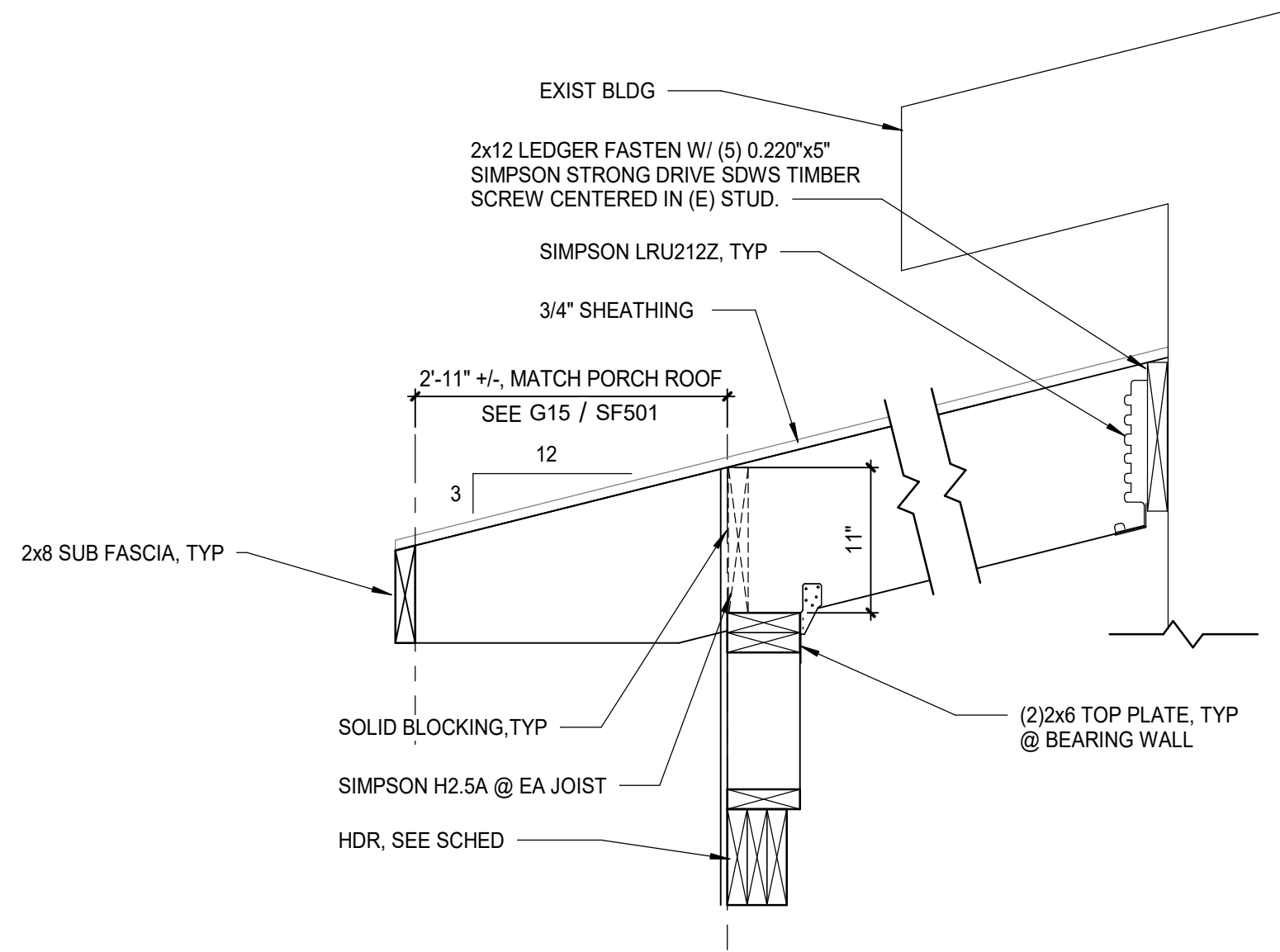


SCALE: AS NOTED

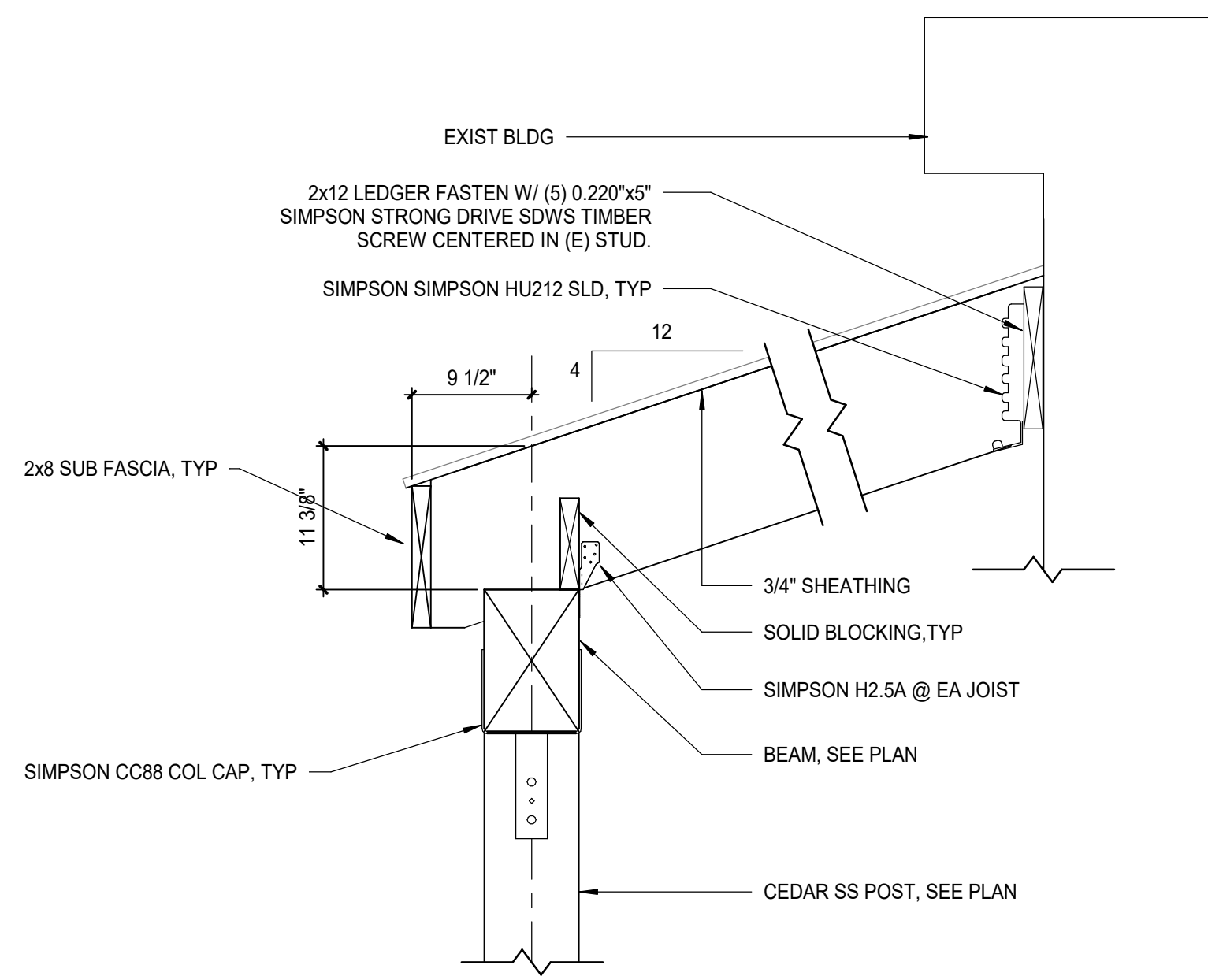
PROJECT MANAGER:	RSC	PROJECT NO:	23039
A/E OF RECORD:	MJK		
JOB CAPTAIN:	RSC		
DRAWN BY:	CJD		
SMRT FILE:	SF102-23039	SHEET No.	SF102



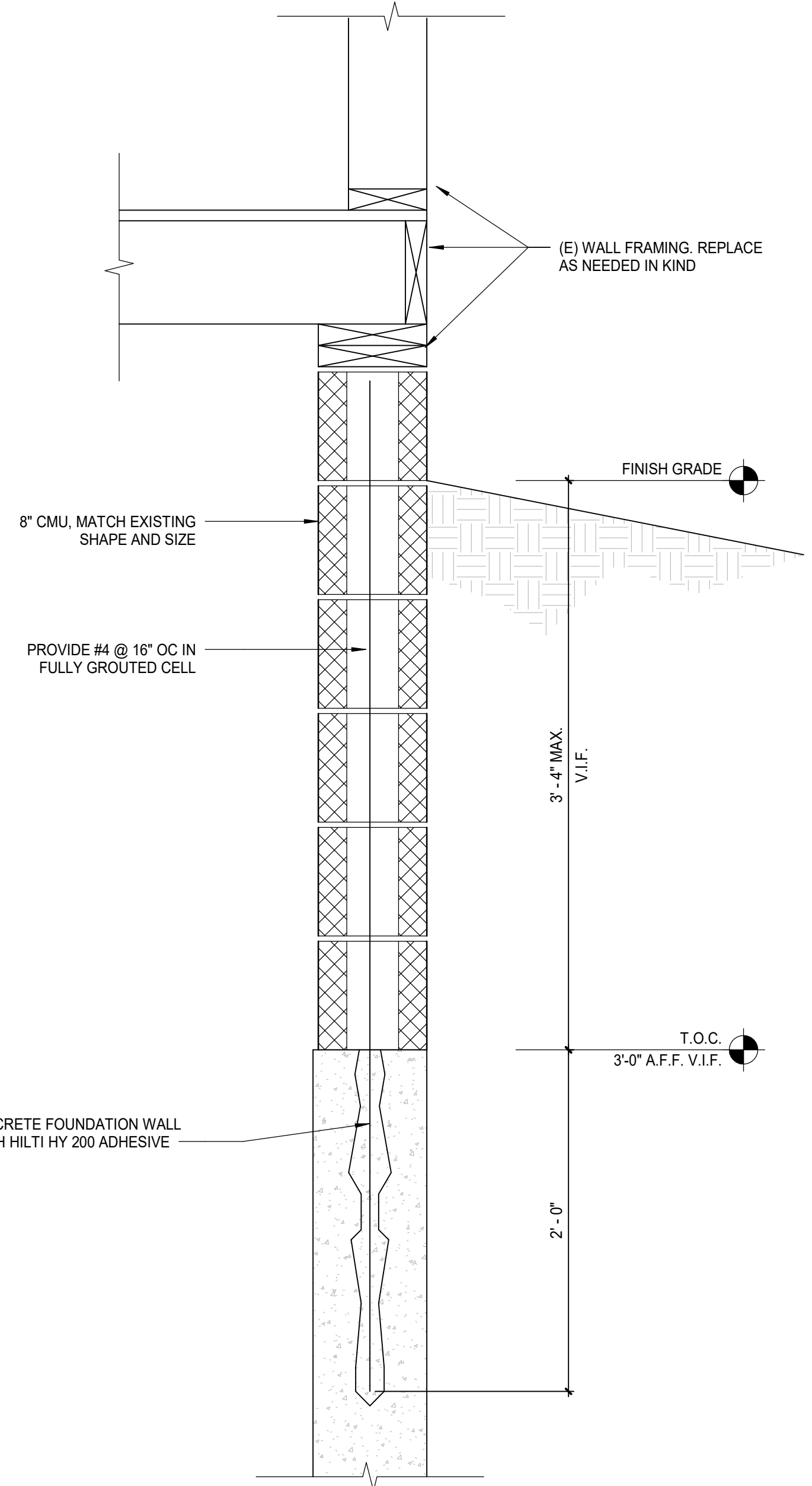
SECTION G15
1" = 1'-0"



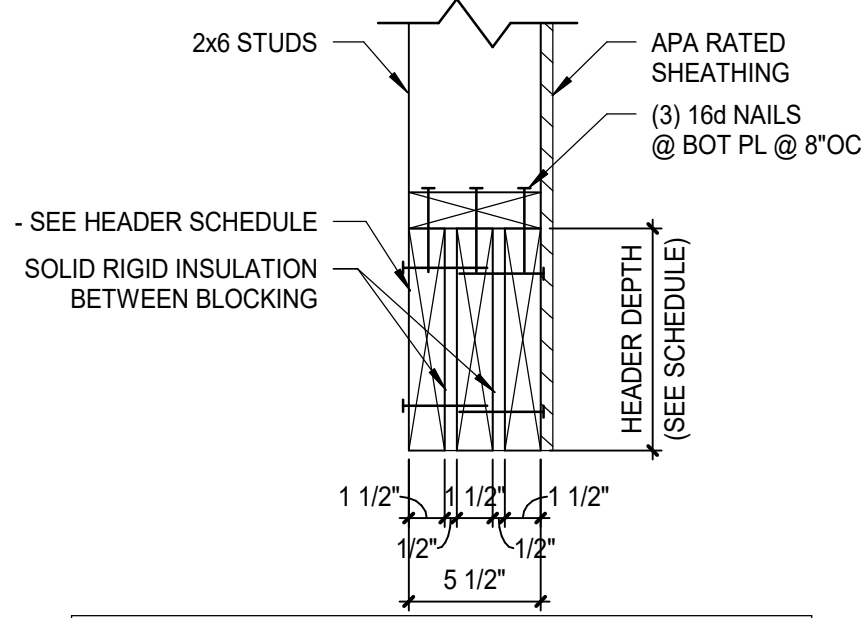
SECTION G10
1" = 1'-0"



SECTION G6
1" = 1'-0"

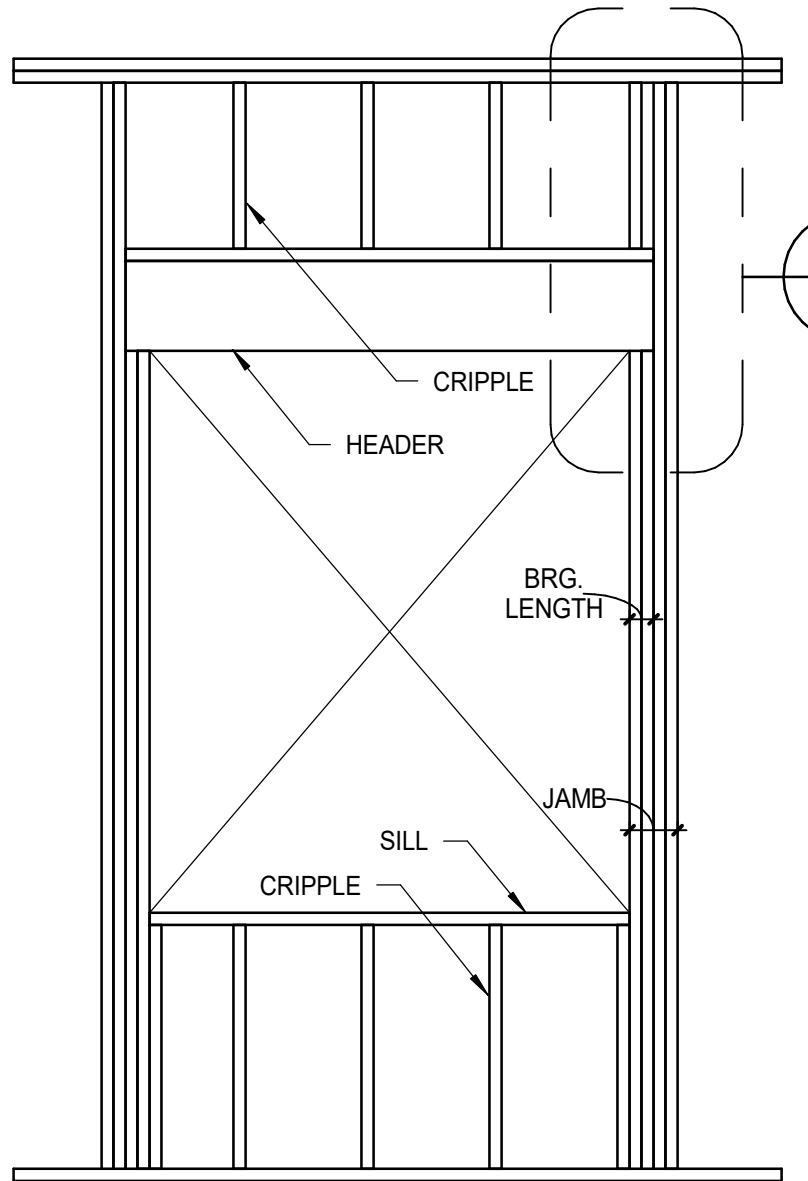


SECTION G1
1 1/2" = 1'-0"

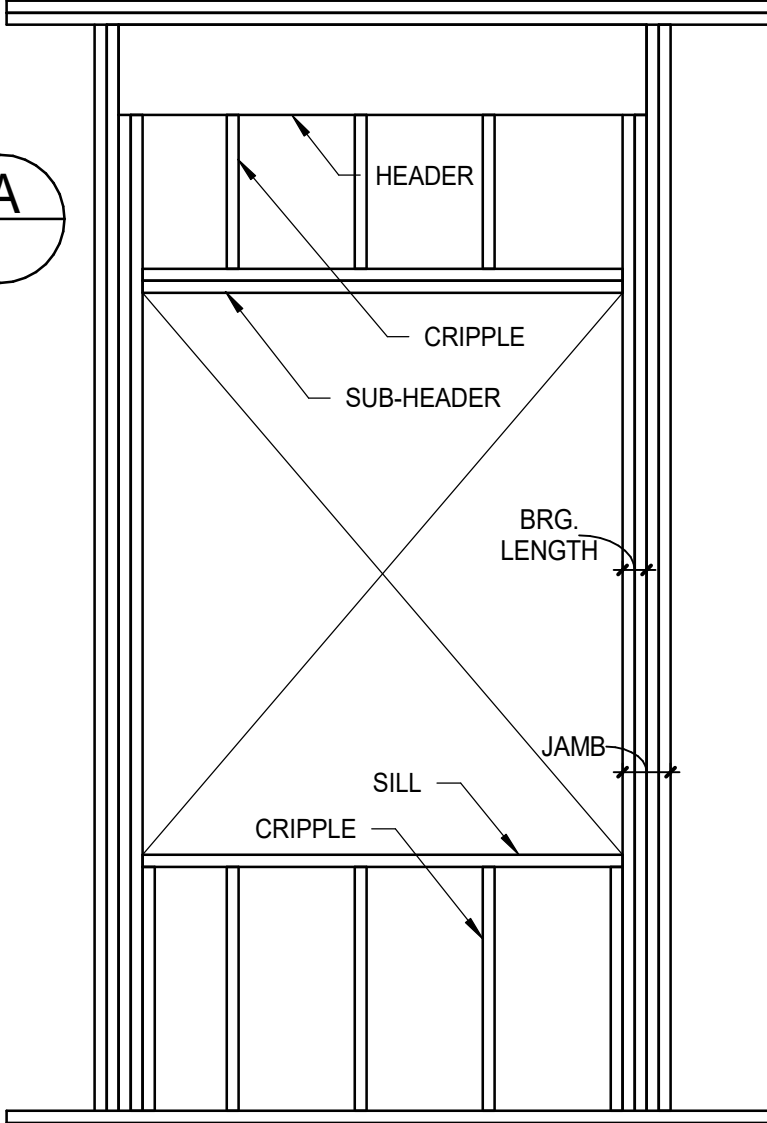


NOTE:
1. NAIL HEADER COMPONENTS TOGETHER W/ (2) 16D NAILS @ ENDS & 12" OC, TYPICAL BOTH SIDES OF HEADER.

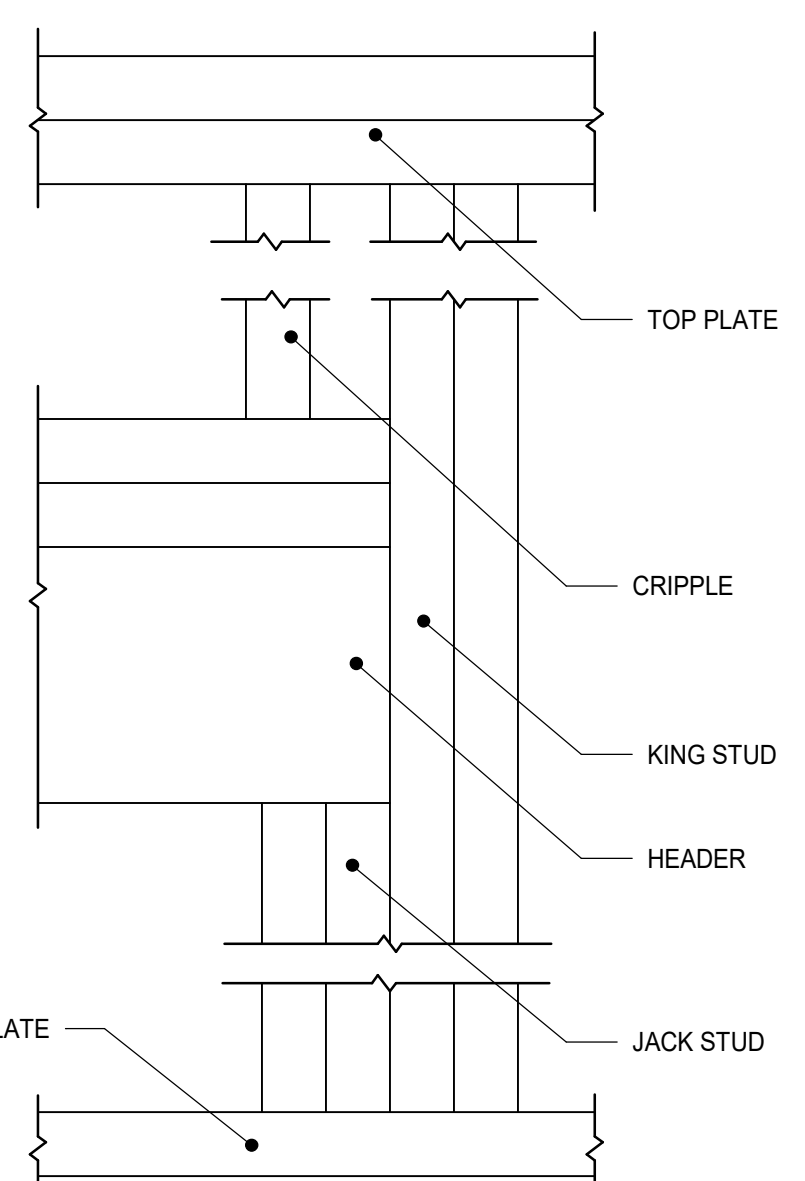
TYPICAL HEADER SECTION A15
1 1/2" = 1'-0"



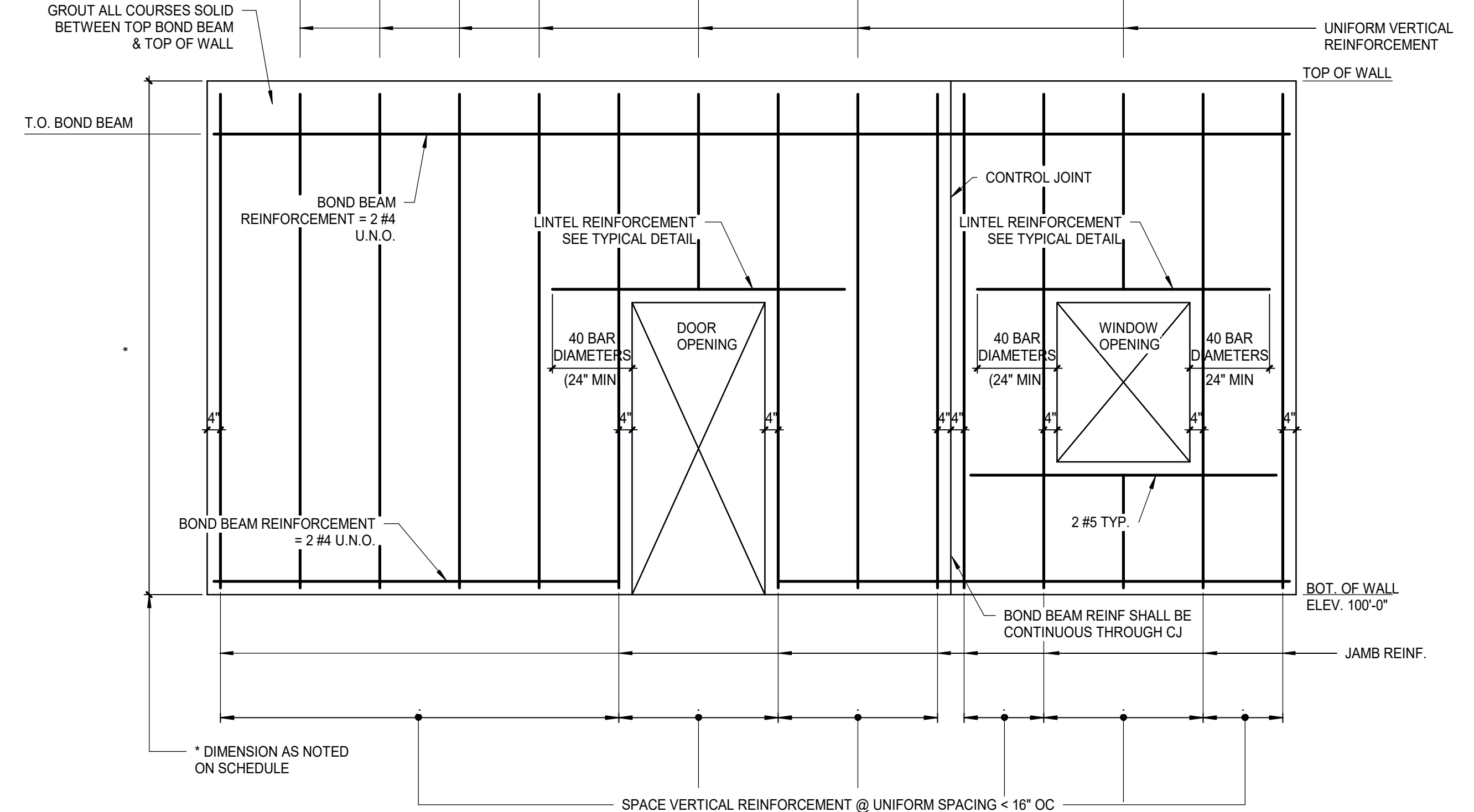
OPNG FRAME TYPE-A



OPNG FRAME TYPE-B



OPENING FRAME TYPES A8
1 1/2" = 1'-0"



NOTES:
1. JOINT REINFORCEMENT IS NOT SHOWN - TERMINATE JOINT REINF. @ CONTROL JOINTS.
2. SPLICE VERTICAL BARS TO DOWELS EMBEDDED IN FOUNDATION CONC.
3. REFER TO ARCHITECTURAL WALL TYPES FOR REINF. REQUIREMENTS.
4. ALL VERTICAL REINF. SHALL BE #5 CENTERED IN CELLS.

TYPICAL MASONRY WALL ELEVATION A1
3/8" = 1'-0"

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MILLINOCKET, MAINE

FRAMING SECTIONS AND DETAILS

SHEET TITLE:

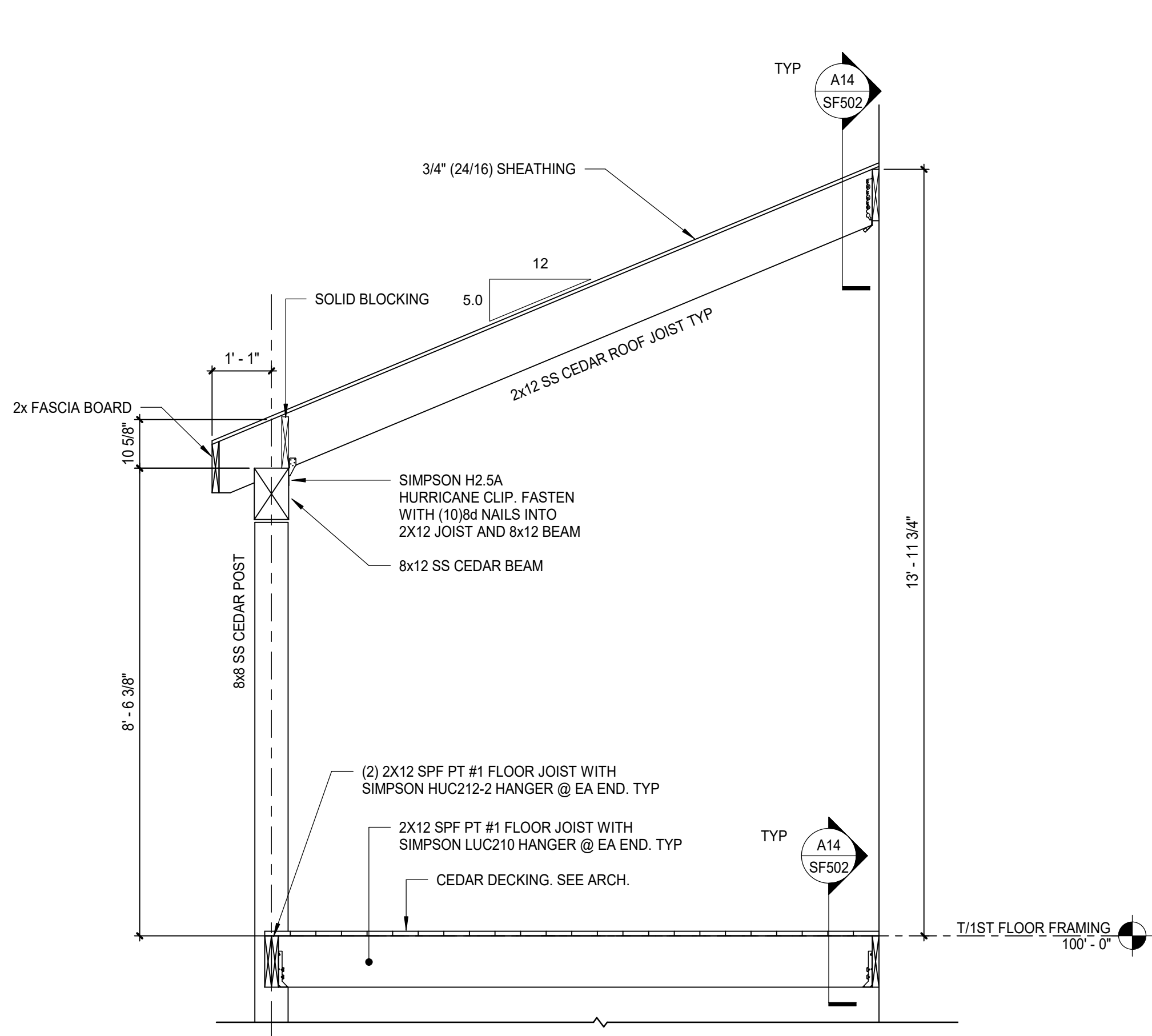
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PROJECT MANAGER: RSC PROJECT NO: 23039

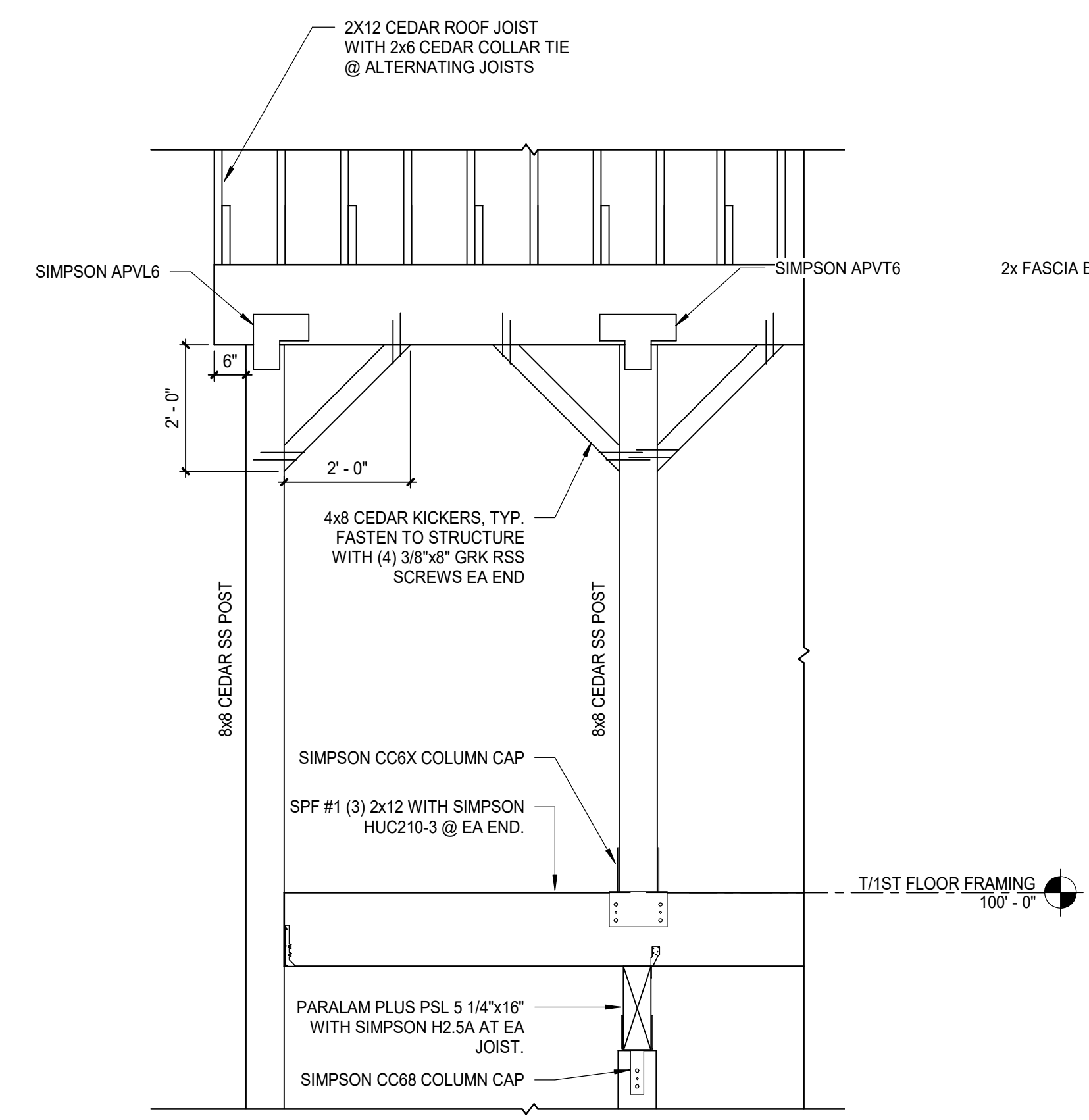
AVE OF RECORD: MJK
JOB CAPTAIN: RSC
DRAWN BY: CJD

SF501

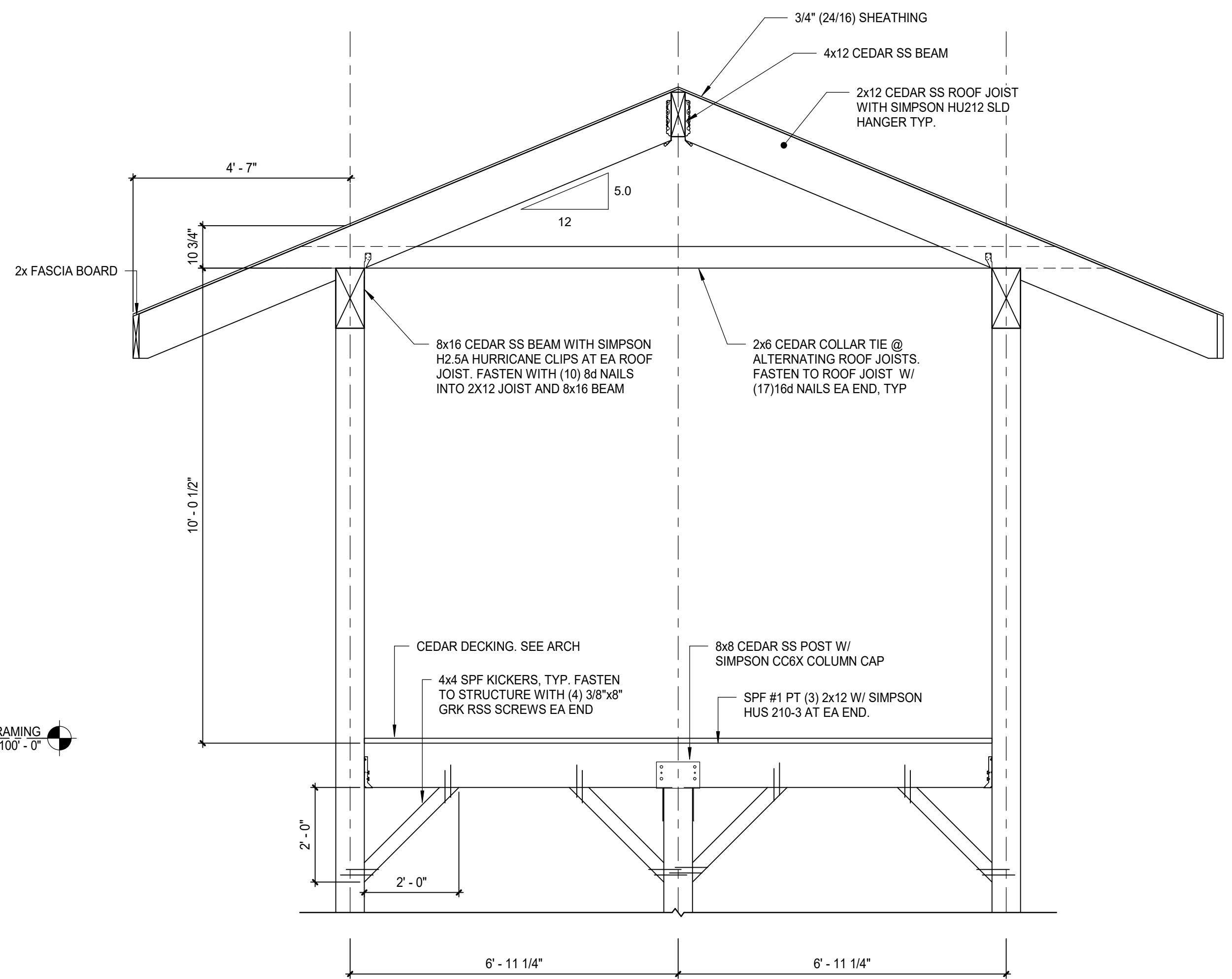
SMRT FILE: SF501-23039 SHEET No. 23039



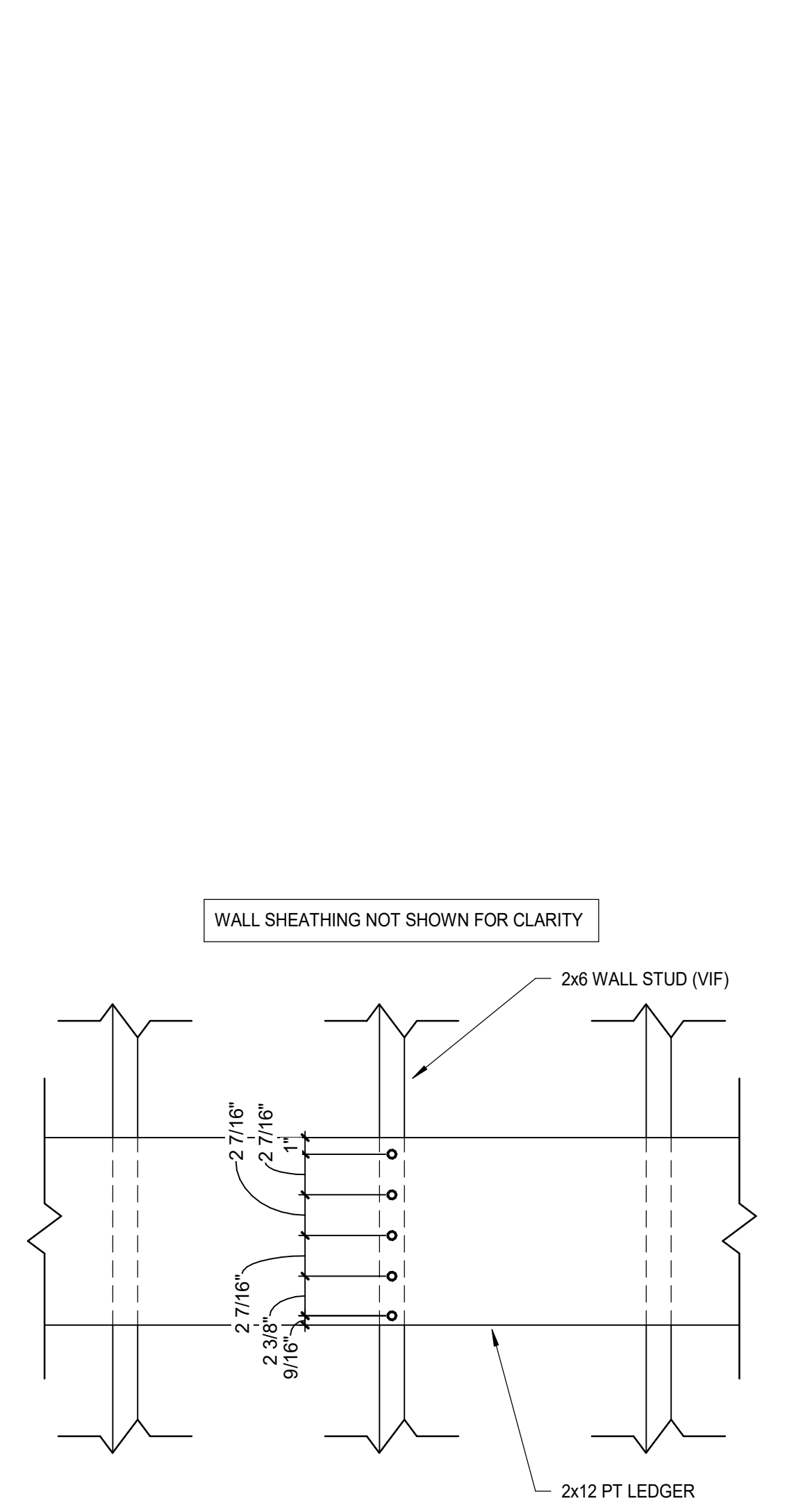
SECTION H13
1/2" = 1'-0"



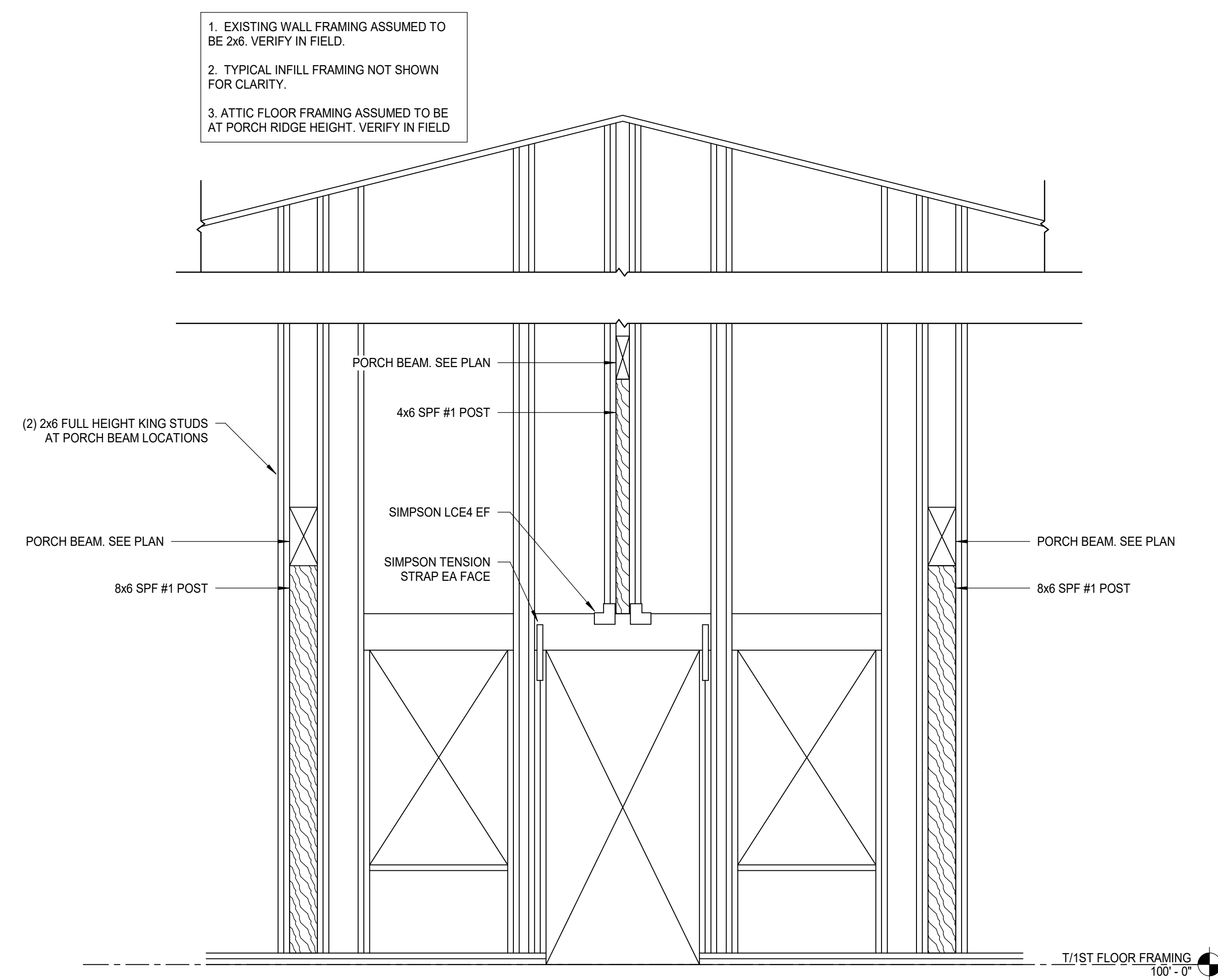
SECTION H8
1/2" = 1'-0"



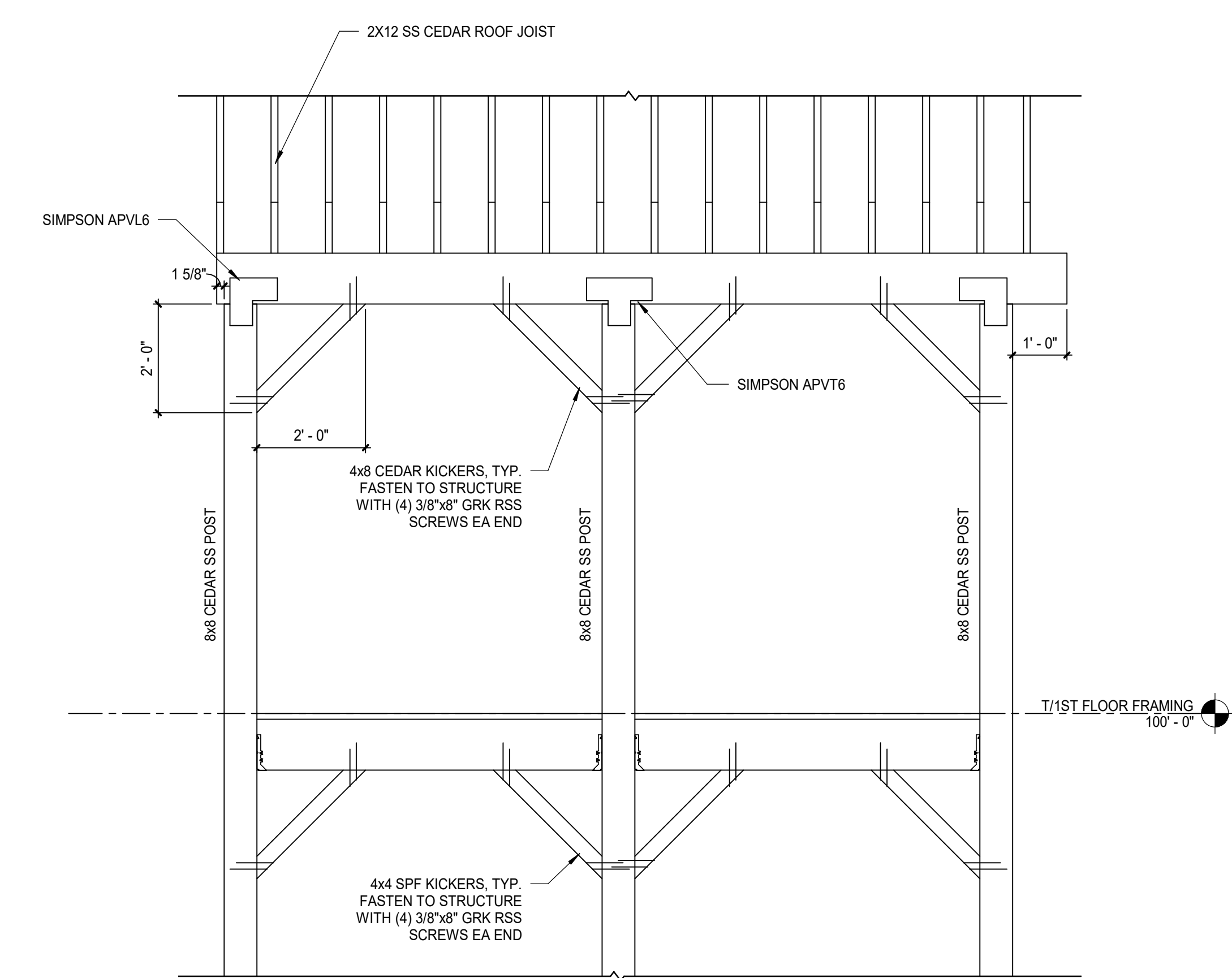
SECTION H1
1/2" = 1'-0"



DETAIL A14
1 1/2" = 1'-0"



SECTION A7
1/2" = 1'-0"



SECTION A1
1/2" = 1'-0"

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MILLINOCKET, MAINE

FRAMING SECTIONS AND DETAILS

SHEET TITLE:

0" 1/4" 1/2" 1" 2" 3"

SCALE: AS NOTED

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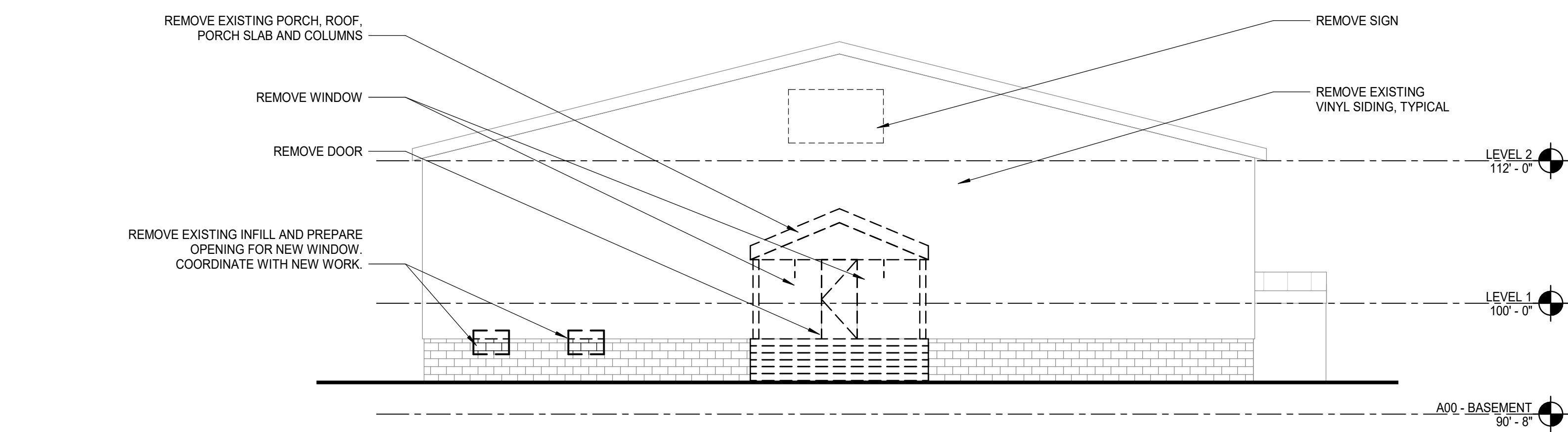
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JOB CAPTAIN: RSC

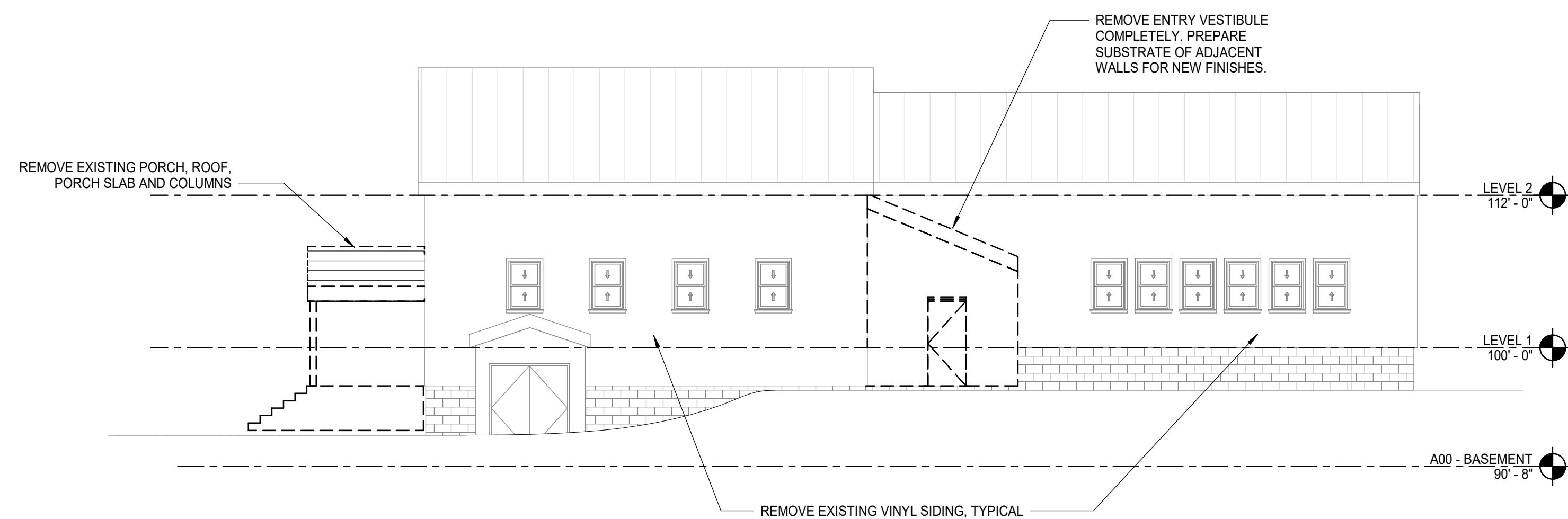
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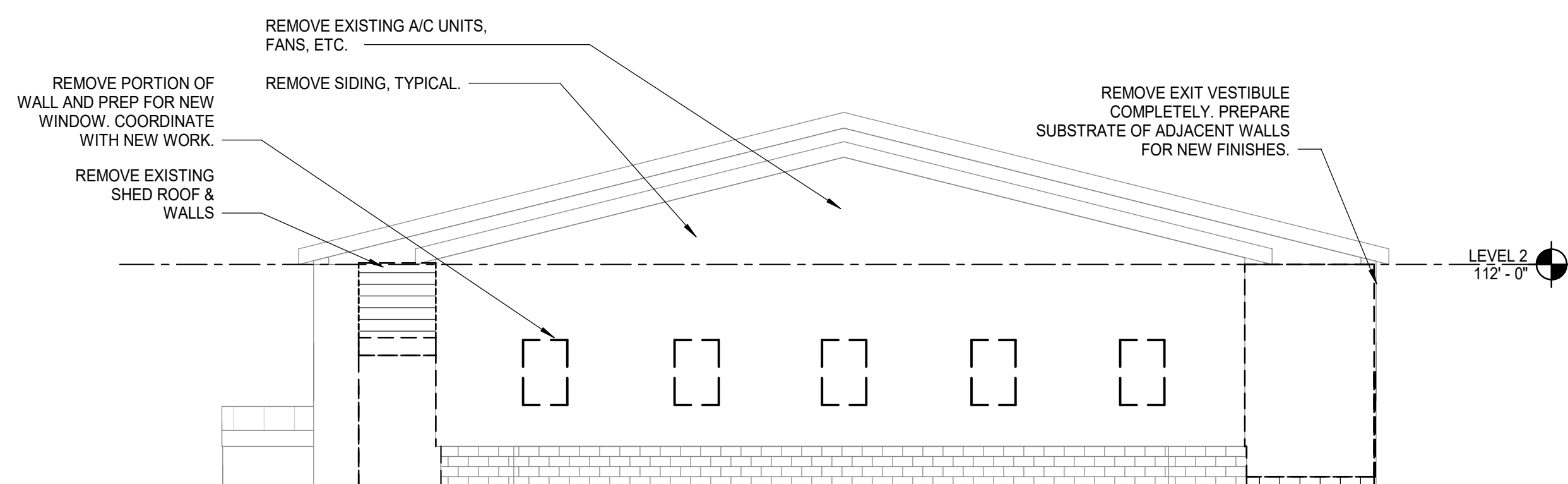
SF502



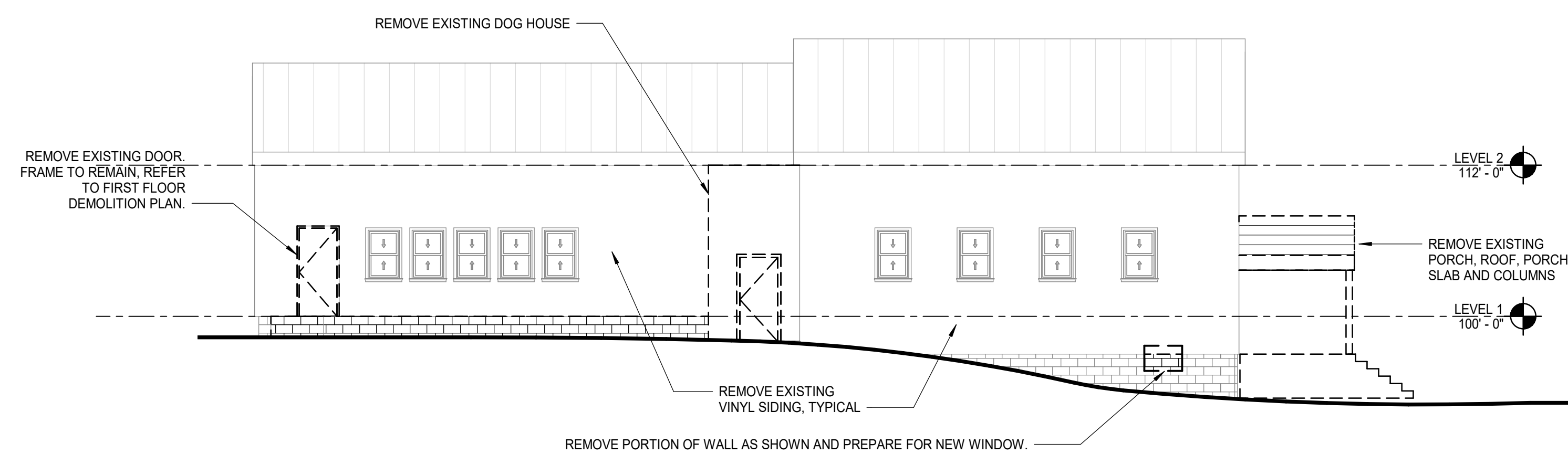
EAST ELEVATION DEMOLITION 4
1/8" = 1'-0"



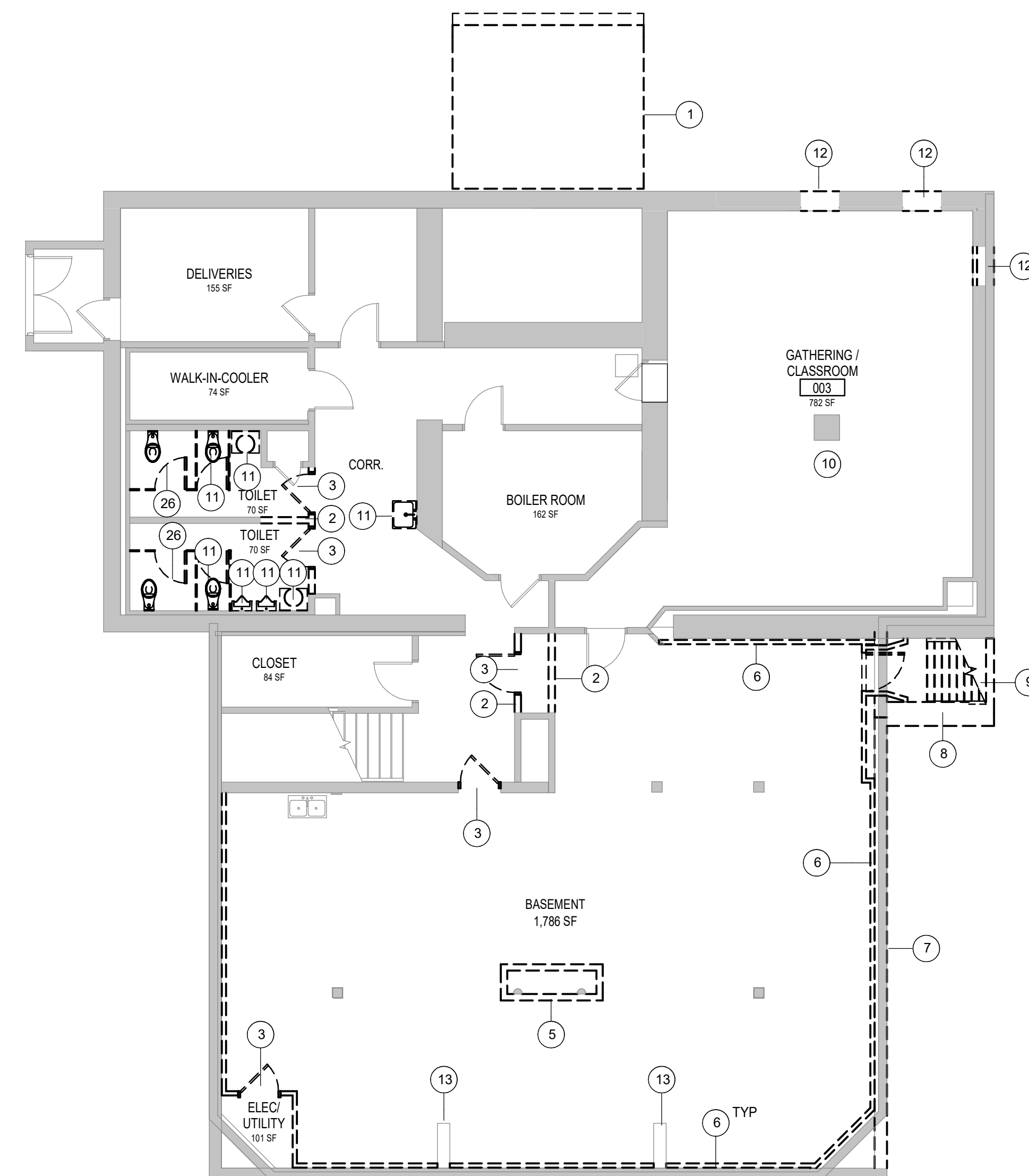
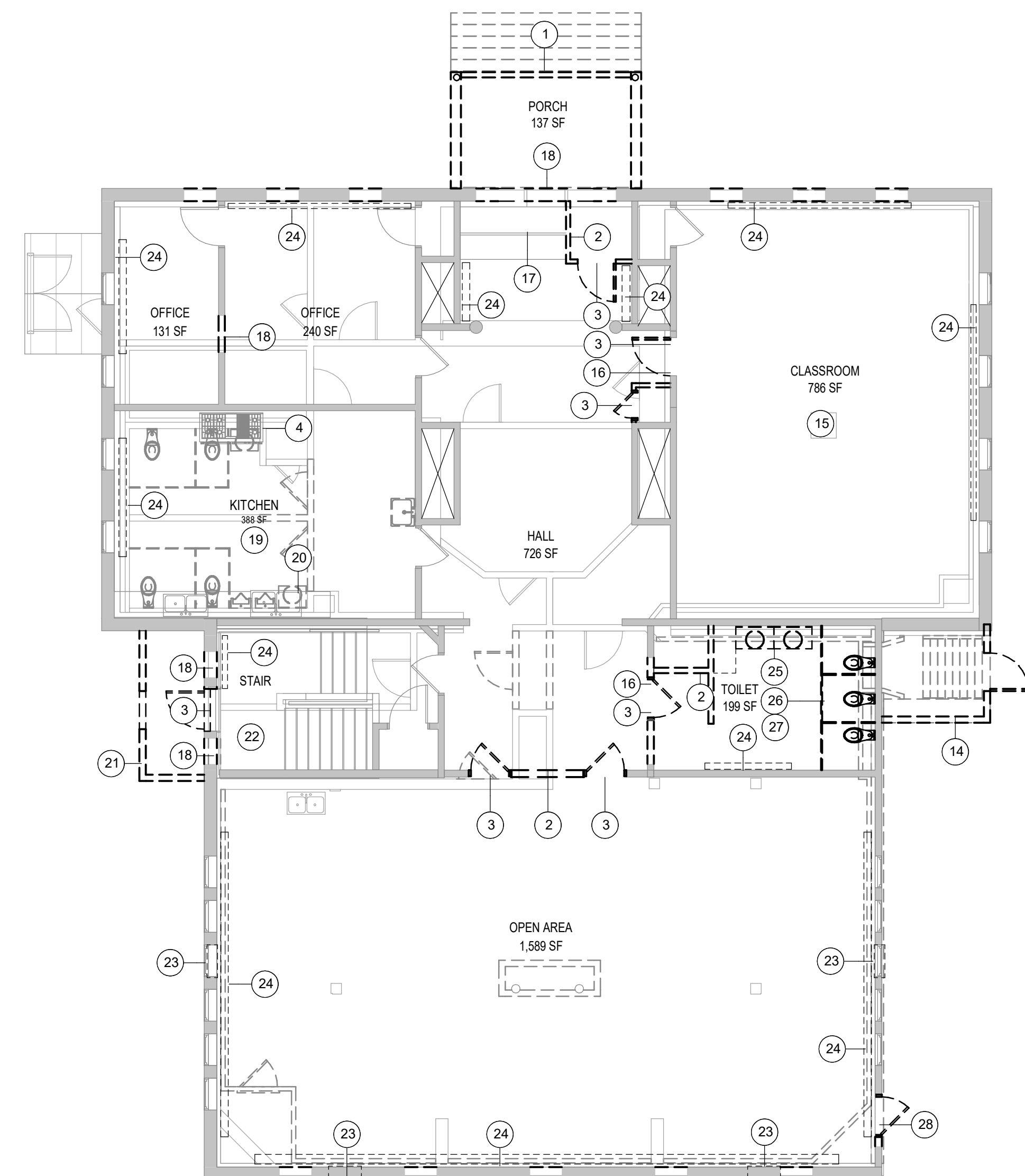
NORTH ELEVATION DEMOLITION H10
1/8" = 1'-0"



WEST ELEVATION DEMOLITION D10
1/8" = 1'-0"



SOUTH EVELATION DEMOLITION $\frac{1}{8}" = 1'-0"$ (A13)

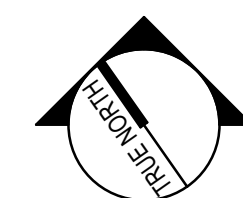


- DEMOLITION NOTES:

1. COORDINATE EXTENT OF DEMOLITION WITH LOCATIONS OF PARTITIONS DESCRIBED ON PLANS AND WITH LOCATIONS OF FINISHES NOTED AS EXISTING TO REMAIN.
2. ANY WALL, PARTITION OR SURFACE DISTURBED BECAUSE OF NEW WORK OR DEMOLITION SHALL BE PATCHED AND FINISHED CONTINUOUSLY TO THE EXISTING FINISH UNLESS OTHERWISE NOTED. MATCH EXISTING ADJACENT CONSTRUCTION FINISHES. CONTINUITY AND FIRE RATINGS UNLESS NOTED OTHERWISE.
3. PROTECT ALL FINISHES, MATERIALS AND EQUIPMENT NOTED AS EXISTING TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE ALL FINISHES, MATERIALS AND EQUIPMENT DAMAGED DURING CONSTRUCTION.
4. CONSTRUCTION INDICATING EXISTING FINISHES IN GOOD CONDITION AND NEED TO BE VERIFIED IN FIELD.
5. CLEARLY IDENTIFY AND TAG MECHANICAL, PLUMBING AND ELECTRICAL FIXTURES OR EQUIPMENT THAT ARE TO BE LEFT IN PLACE PRIOR TO DEMOLITION TO ALLOW ACCIDENTAL REMOVAL.
6. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR THE SCOPE OF DEMOLITION IN THOSE DISCIPLINES.

DEMOLITION KEYNOTES

Key Value	Keynote Text
1	REMOVE EXISTING ROOF AND CONCRETE BASE, POSTS AND POOR IN ITS ENTIRETY.
2	REMOVE PORTION OF WALL AS SHOWN COORDINATE WITH NEW WORK PLANS.
3	REMOVE DOOR LEAF AND FRAME COMPLETELY. PREPARE OPENING FOR NEW DOOR. COORDINATE WITH NEW WORK.
4	EXISTING RANGE TO REMAIN.
5	REMOVE ENCLOSURE, REPORT ANY BARRIERS TO ARCHITECT IF FOUND.
6	REMOVE REMAINING INTERIOR PANEL FINISH WALLS TO FACE OF FOUNDATION WALLS, TYP.
7	REMOVE DAMAGED PORTIONS OF EXISTING MASONRY WALL IN SECTIONS. COORDINATE WITH STRUCTURAL.
8	REMOVE CONCRETE FOUNDATION WALL AND FOOTINGS.
9	REMOVE STAIR.
10	REMOVE PANELING IN THIS ROOM. REPORT ANY DEFICIENCIES IN EXISTING FOUNDATION WALLS TO OWNER AND ARCHITECT.
11	REMOVE PLUMBING FIXTURE, HARDWARE AND PLUMBING COMPLETELY. CAP EXISTING PLUMBING TO REMAIN IN WALL CAV TO ALLOW FOR SEAMLESS AND CONTINUOUS WALL FINISH.
12	REMOVE INFILL FROM EXISTING OPENINGS IN BRICK FOUNDATION WALL. VERIFY OPENING DIMENSIONS IN FIELD AND COORDINATE WITH NEW WORK.
13	EXISTING CONCRETE BUTTRESS TO REMAIN.
14	REMOVE EXISTING WALLS TO ROOF.
15	REMOVE DECORATIVE PANELING ALL WALLS.
16	SALVAGE DOOR FOR REUSE. COORDINATE STORAGE DURING CONSTRUCTION WITH OWNER.
17	REMOVE FLOOR FINISH AND ANY MEMBRANE LATER DOWN TO SUBFLOOR. SUBFLOOR TO REMAIN. REMOVE ANY REMAINING FANMERS OR OBSERVATION DECK. PROVIDE SMOOTH SURFACE FOR NEW FINISH FLOOR.
18	REMOVE PORTION OF EXISTING WALL NECESSARY FOR NEW OPENING. COORDINATE EXTENT OF REMOVAL WITH NEW WORK PLANS.
19	REMOVE FLOORING AND PREP FOR NEW.
20	REMOVE EXISTING CABINETS, COUNTERS AND DISHWASHER THIS WALL. SAVE (2) SINKS FOR REUSE.
21	REMOVE EXISTING WALLS AND ROOF OF ENTRY SHED.
22	REMOVE EXISTING DRYD AND MOUNTED CEILING TILE.
23	REMOVE EXISTING FANS AND A/C UNITS (ABOVE)
24	REMOVE EXISTING HEAT RADIATOR.
25	REMOVE EXISTING VENT AND (2) SINKS.
26	REMOVE EXISTING TOILETS AND PARTITIONS.
27	REMOVE FLOOR FINISH AND BASE. REMOVE LIGHTING AND DEVICES AT CEILING PERPARE SURFACE FOR NEW FINISHES.
28	REMOVE DOOR LEAF AND HARDWARE ONLY. FRAME TO REMAIN. REFIT DOOR SCHEDULE FOR NEW DOOR LEAF.

[illegible]

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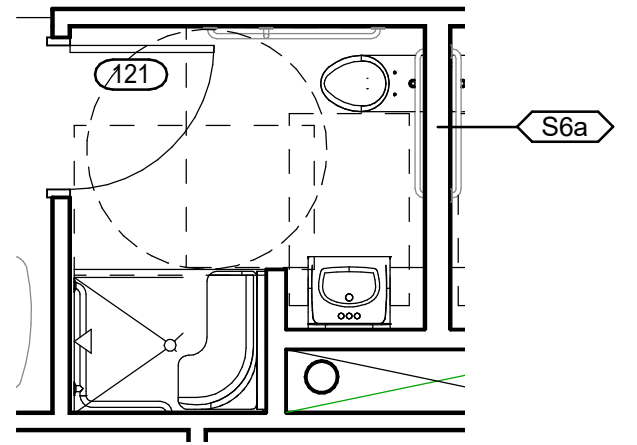
PROJECT LOCATION
DEMOLITION PLANS AND ELEVATIONS

SHEET TITLE:

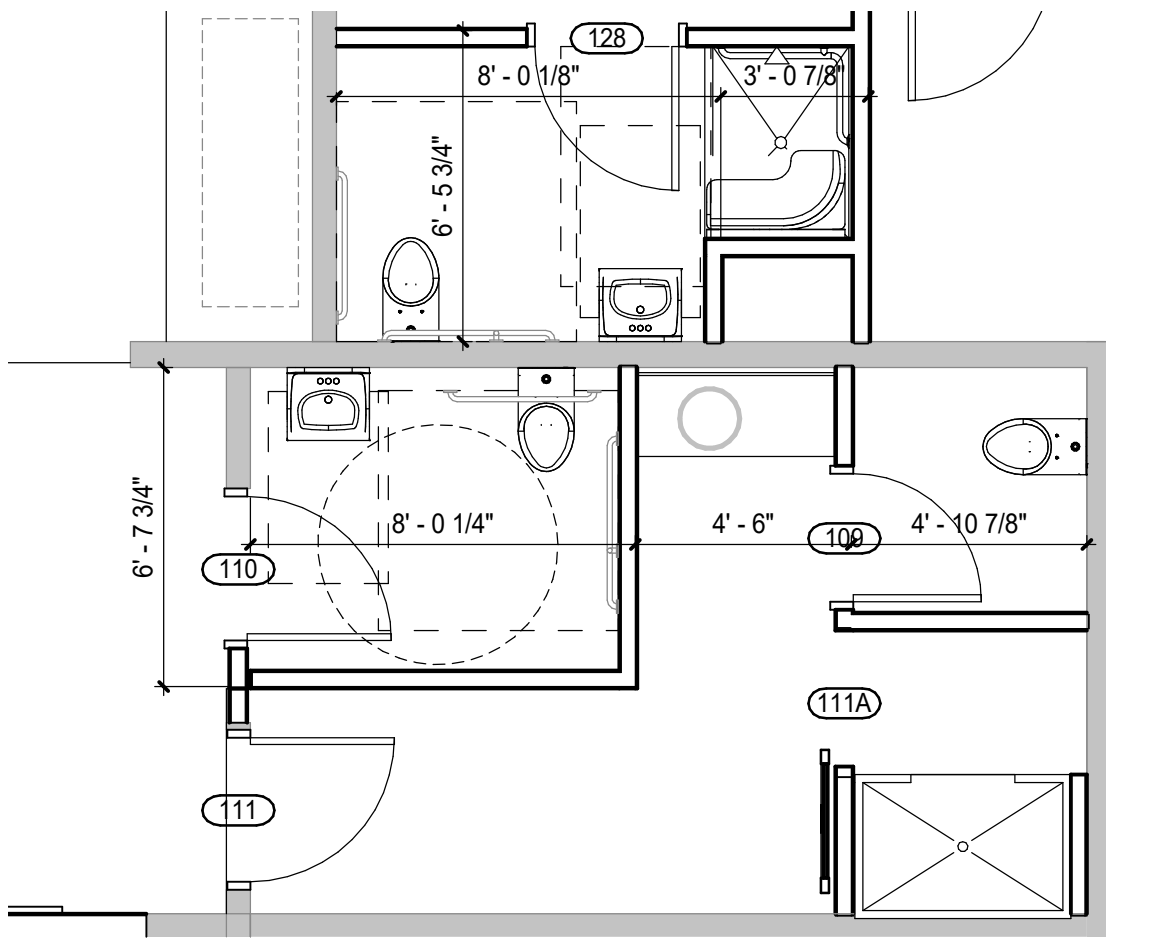
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SCALE: AS NOTED

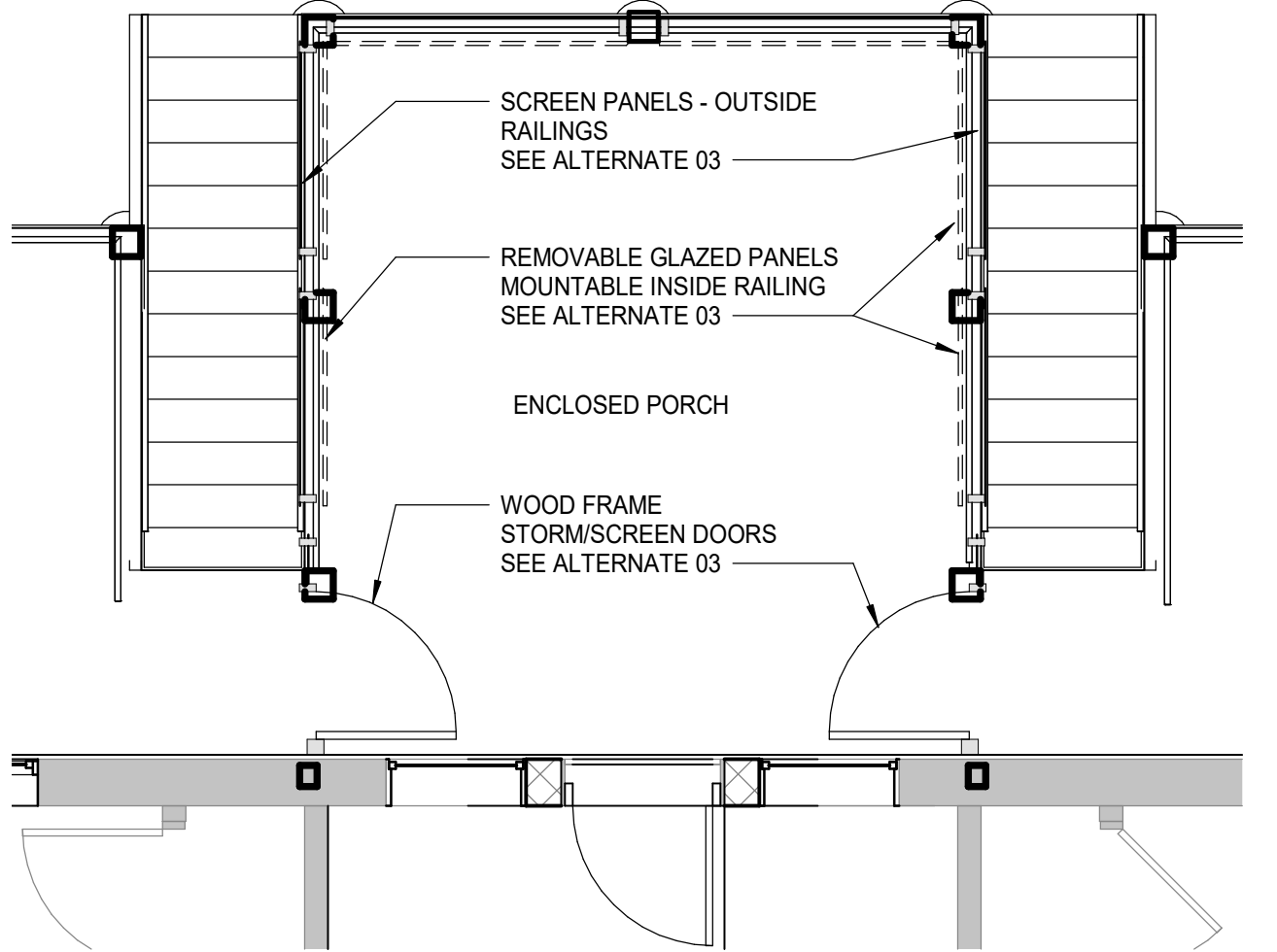
APPROVED BY:	RSC	PROJECT NO:	23039
DESIGNED BY:	RSC	<div>AD101</div>	<div>©COPYRIGHT 2000 SMART INC</div>
CHECKED BY:	ACL		
DRAWN BY:	ACL		
SMRT FILE:	AD101-23039		
		SHEET No.	



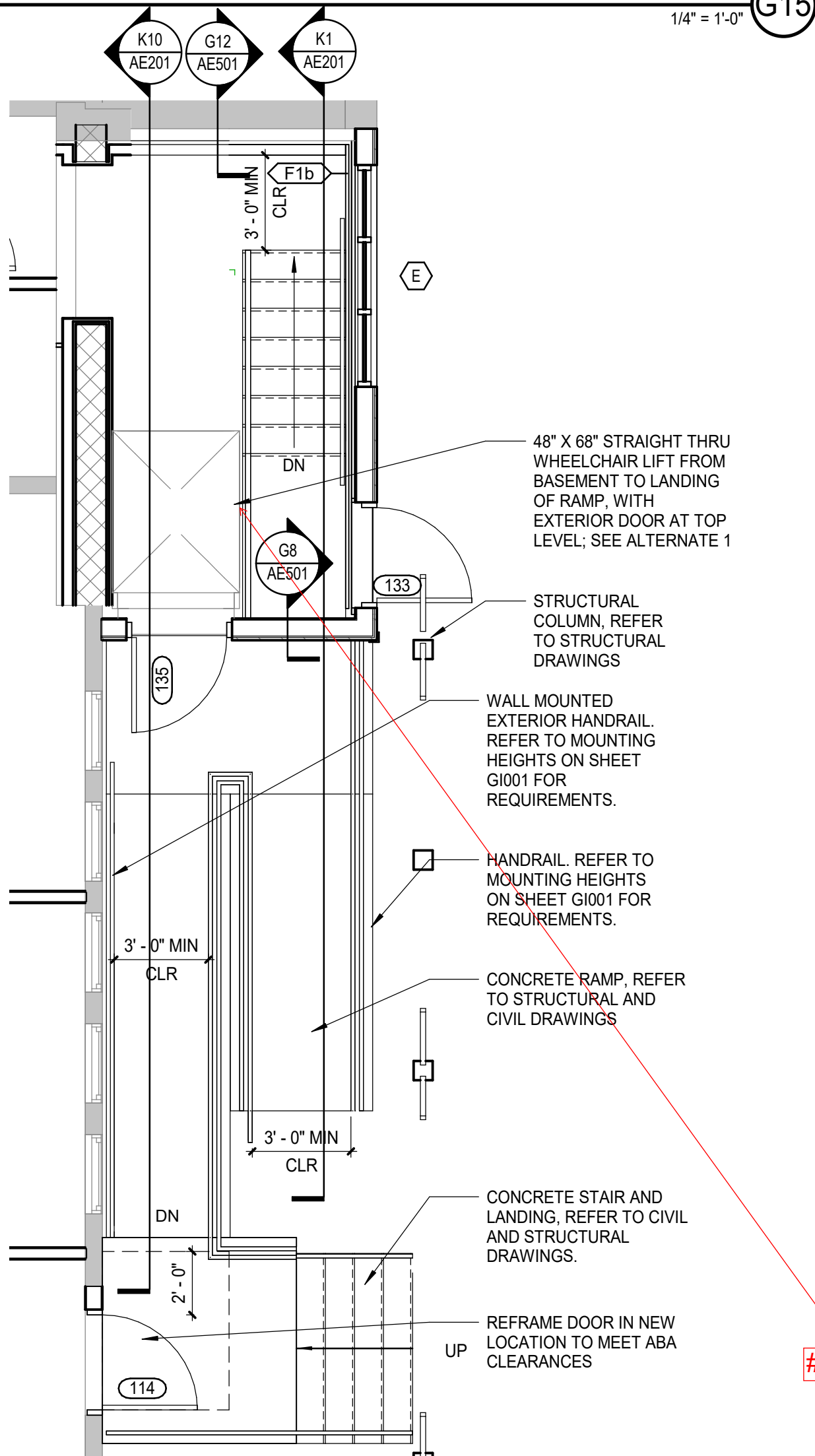
ENLARGED BATHROOM PLAN 1 (N15)
1/4" = 1'-0"



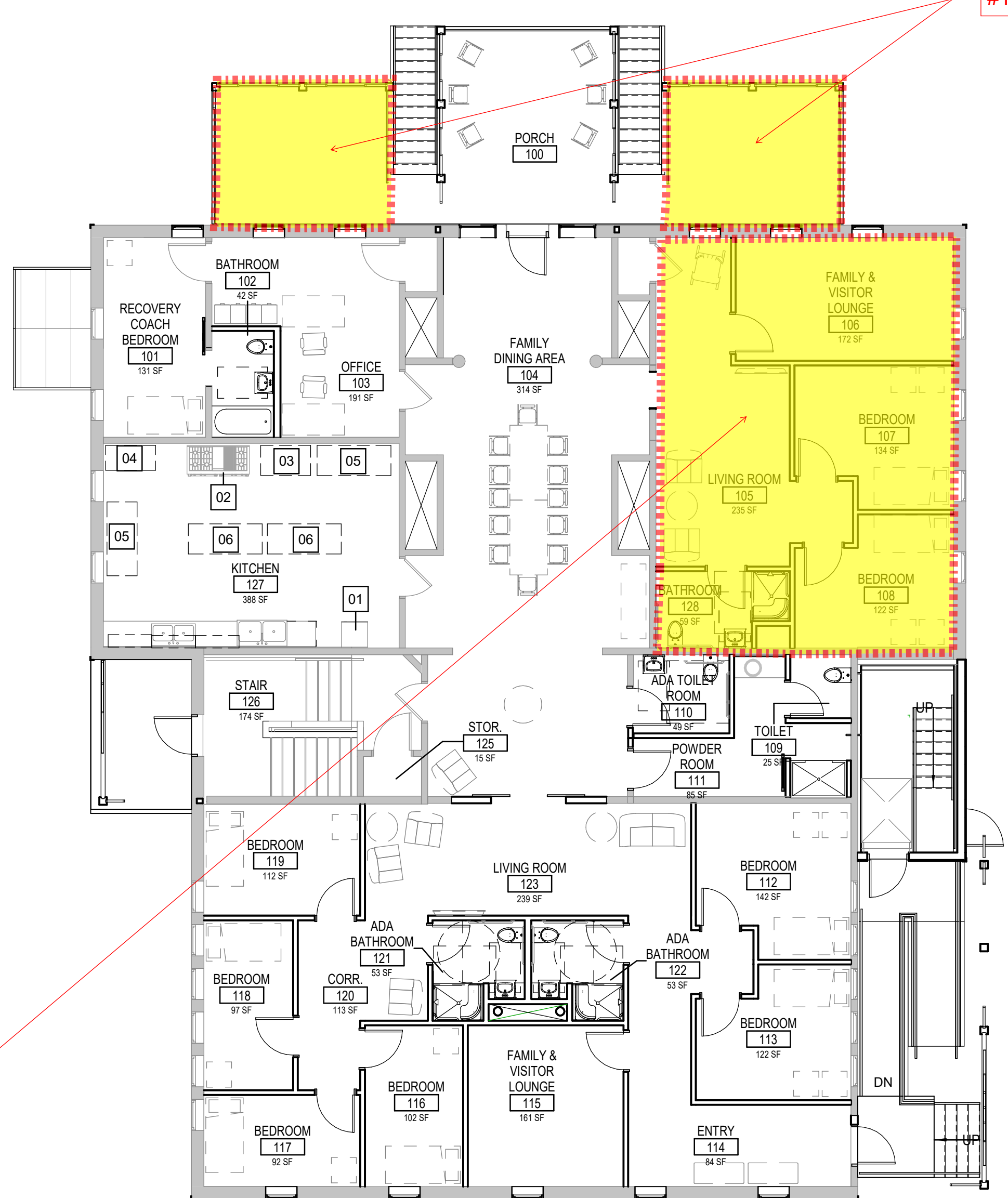
ENLARGED BATHROOM PLAN 2 (K15)
1/4" = 1'-0"



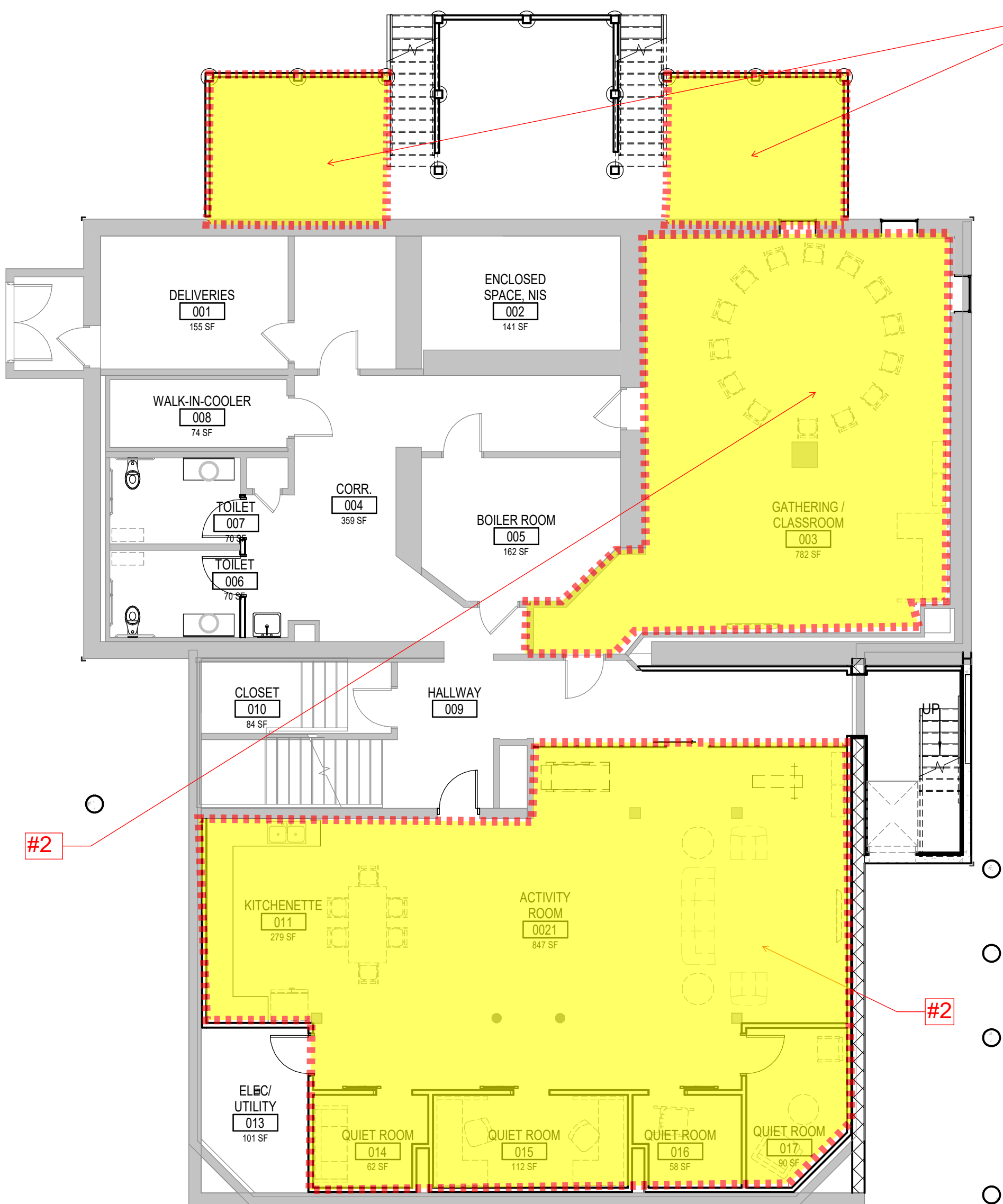
ALTERNATE 3 AT PORCH (G15)
1/4" = 1'-0"



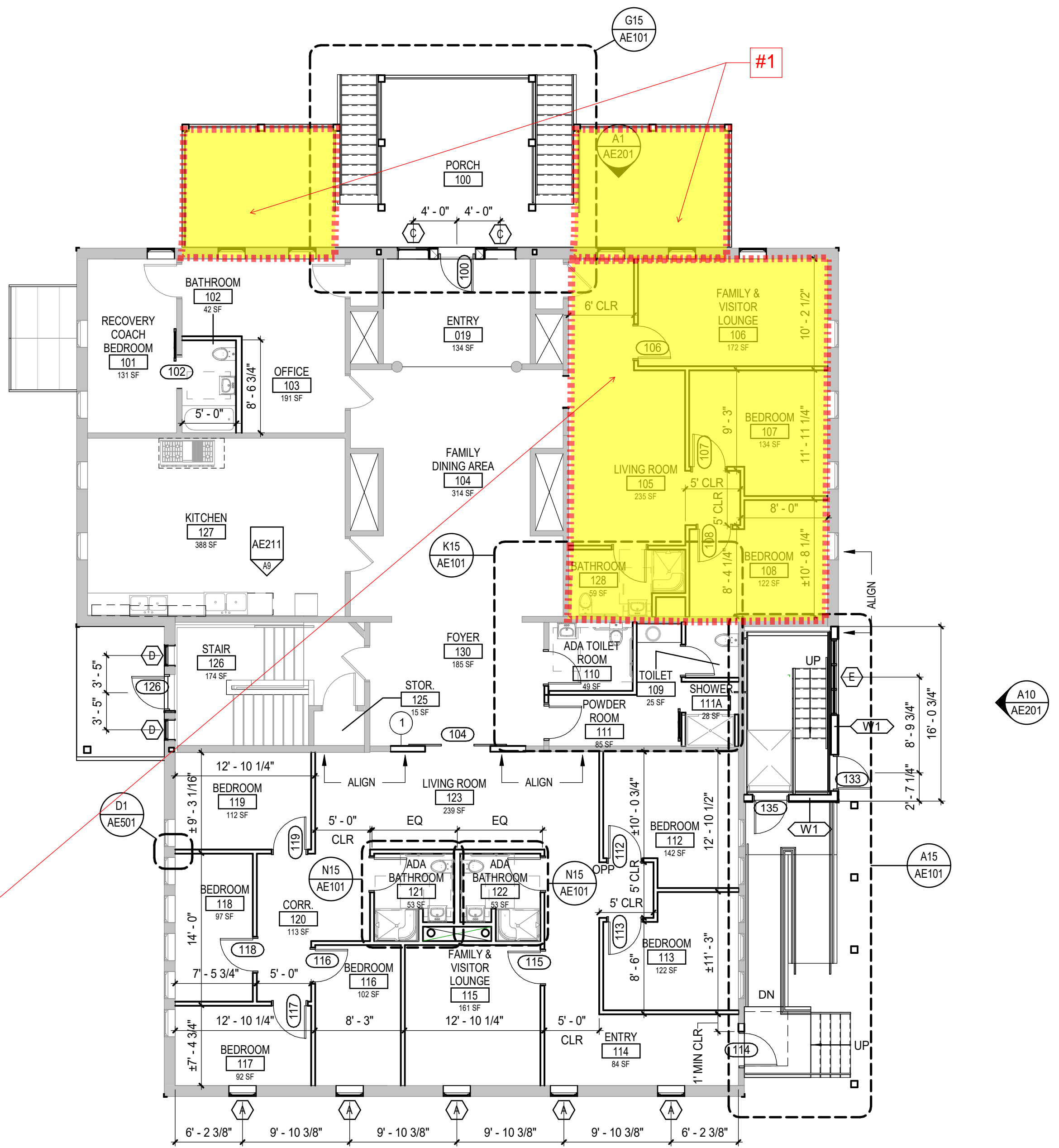
LEVEL 1 FLOOR PLAN (A15)
1/4" = 1'-0"



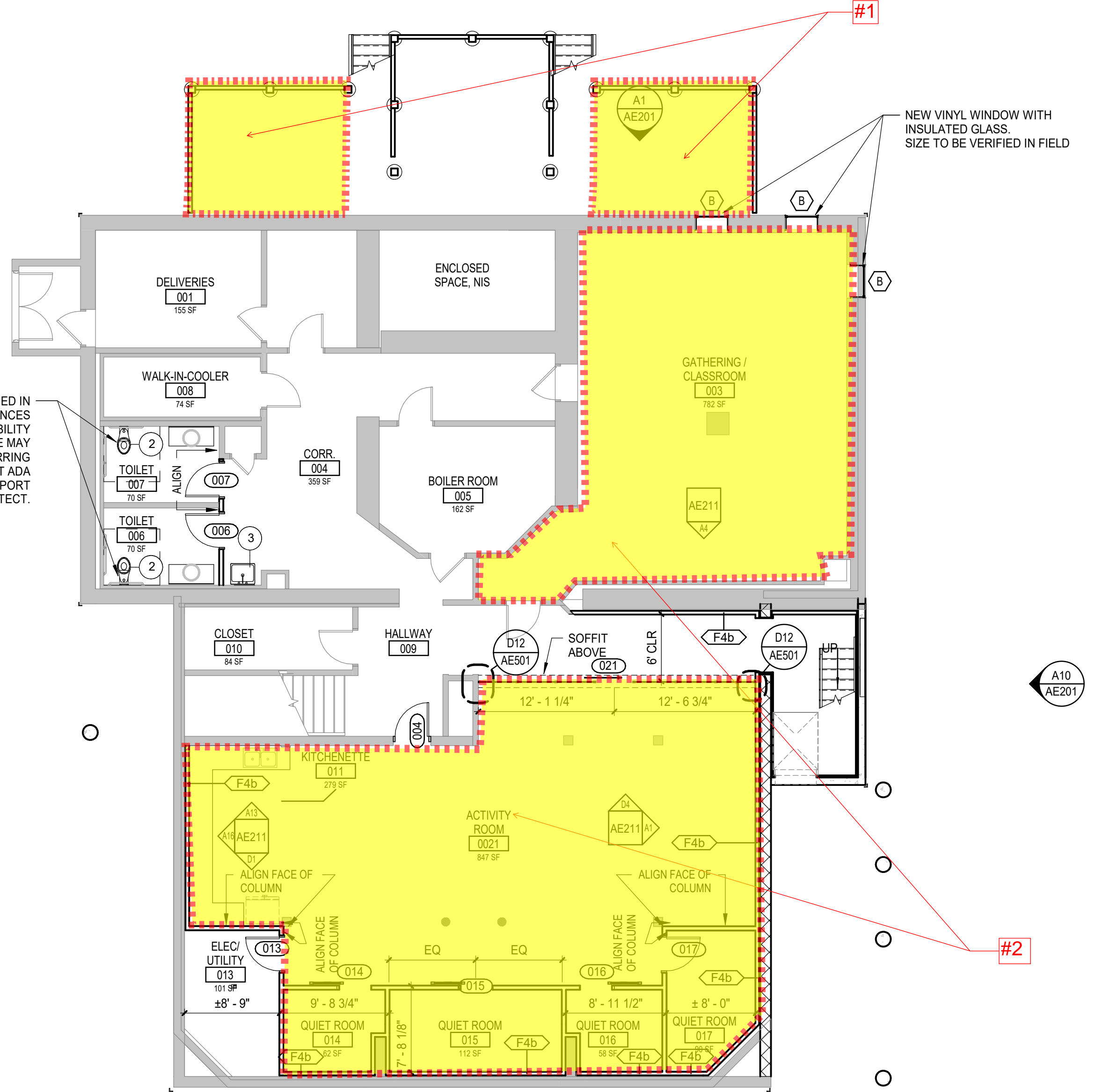
LEVEL 1-FURNITURE SUGGESTION PLAN FOR REFERENCE (H8)
1/8" = 1'-0"



BASEMENT-FURNITURE SUGGESTION PLAN FOR REFERENCE (A8)
1/8" = 1'-0"



LEVEL 1 FLOOR PLAN (H1)
1/8" = 1'-0"



BASEMENT PLAN (A1)
1/8" = 1'-0"

PLAN NOTES:

- SEE G101 FOR GENERAL PROJECT NOTES, LEGENDS AND ABBREVIATIONS.
- SEE G102 FOR GENERAL MOUNTING HEIGHTS, TOP OF WALL DETAILS AND PARTITION TYPES.
- CONTRACTOR IS RESPONSIBLE FOR REVIEWING CODE COMPLIANCE PLANS AND NOTIFYING THE ARCHITECT OF CONFLICTS BETWEEN WHAT IS IN THE FIELD AND ON THE CODE DOCUMENTS.
- DIMENSIONS ARE FACE OF CONCRETE, FACE OF MASONRY AND FACE OF STUD AND FACE OF EXISTING WALLS TO REMAIN, UNLESS NOTED OTHERWISE.
- DOOR JAMBS (HINGE SIDE) SHALL BE 6" FROM CORNER IN STUD PARTITIONS AND 8" FROM CORNER IN MASONRY PARTITIONS UNLESS NOTED OTHERWISE.
- REFER TO DETAILS FOR ADDITIONAL DIMENSIONING INFORMATION.
- REFER TO ENLARGED PLANS FOR PARTITION TYPES AND DIMENSIONS IN AREAS WHICH ARE DETAILED AT A LARGER SCALE.
- FURNITURE AND OWNER PROVIDED EQUIPMENT ARE INDICATED BY DASHED LINE TYPE.
- CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF OWNER PROVIDED EQUIPMENT INCLUDING BUT NOT LIMITED TO DIMENSIONAL INFORMATION, AND MECHANICAL, ELECTRICAL AND PLUMBING REQUIREMENTS.
- CENTER FLOOR DRAINS IN SPACE UNLESS INDICATED OTHERWISE.

FLOOR PLAN KEYNOTES

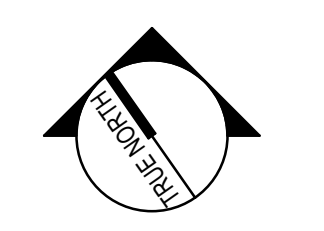
Key Value	Keynote Text
1	NEW WALL SHOULD MATCH CONSTRUCTION TYPE AND THICKNESS OF EXISTING WALL TO REMAIN AND SHOULD PROVIDE A FLUSH AND SEAMLESS TRANSITION BETWEEN NET WALL AND EXISTING.
2	NEW FURNITURE AT EXISTING PLUMBING.
3	RELOCATED SALVAGED MOP SINK.

KITCHEN EQUIPMENT		
MARK	DESCRIPTION	PROVIDER
01	DISHWASHER	O/C
02	GASELECTRIC RANGE	O/C
03	OVEN	O/C
04	FREEZER	O/C
05	REFRIGERATOR	O/C
06	STAINLESS STEEL KITCHEN WORKTABLE WITH STORAGE SHELVES	O/C

REV	DESCRIPTION	DATE
0	PHASED FOR REBID	02-07-25

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02-07-25

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PROJECT NORTH:
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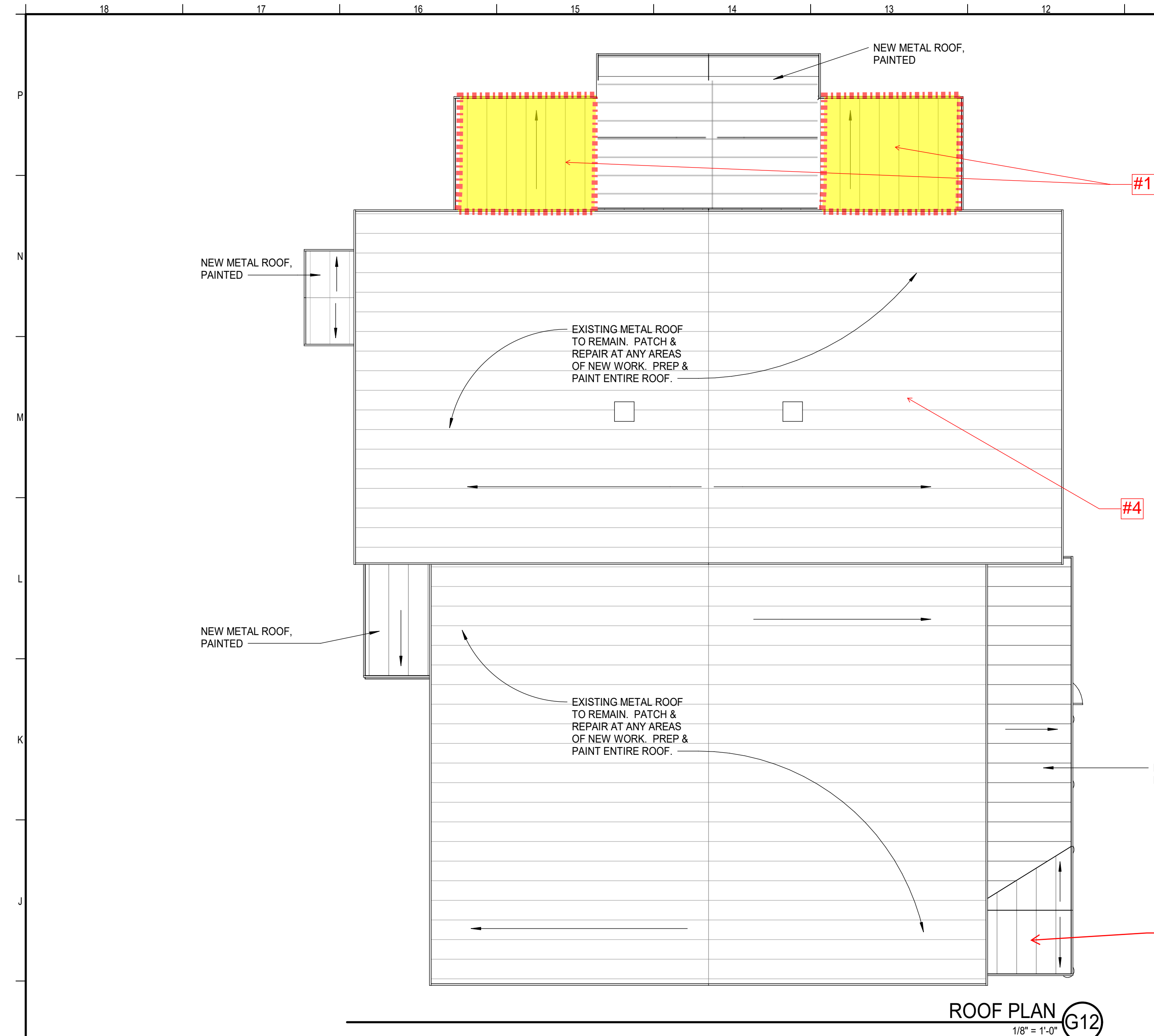
FLOOR LOCATION

**FLOOR AND FURNITURE
SUGGESTION PLANS**

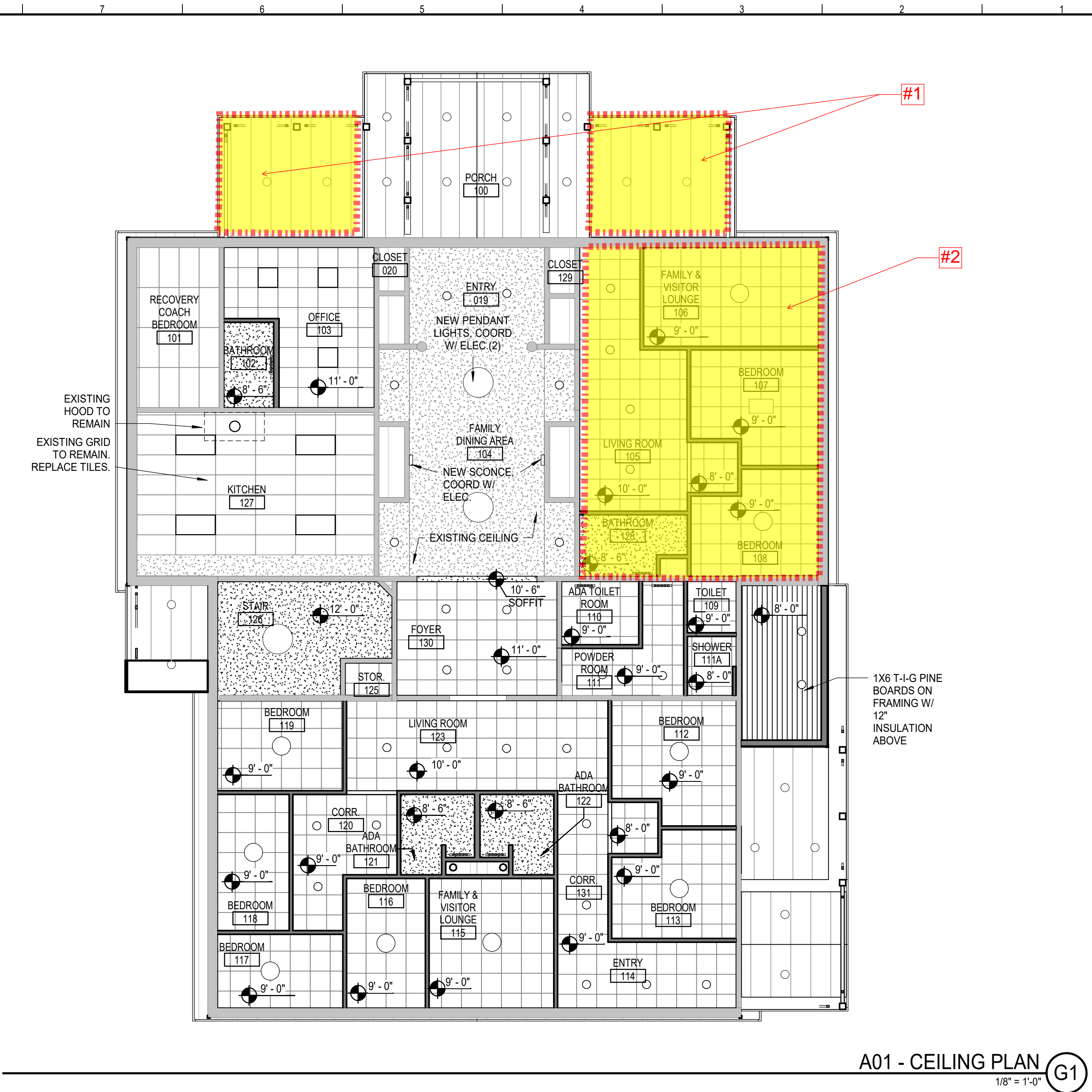


SCALE: AS NOTED

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#1
Modifications of the side porch framing: The below rough framing plan shows the proposed modifications to the side porch roof. Heavy timbers are no longer required. The framing will consist of a shed roof using typical 2x12 dimension lumber. An overbuild of trusses would then frame the valley. This reduces the number of heavy timbers both in the roof and reinforcing the existing wall framing.

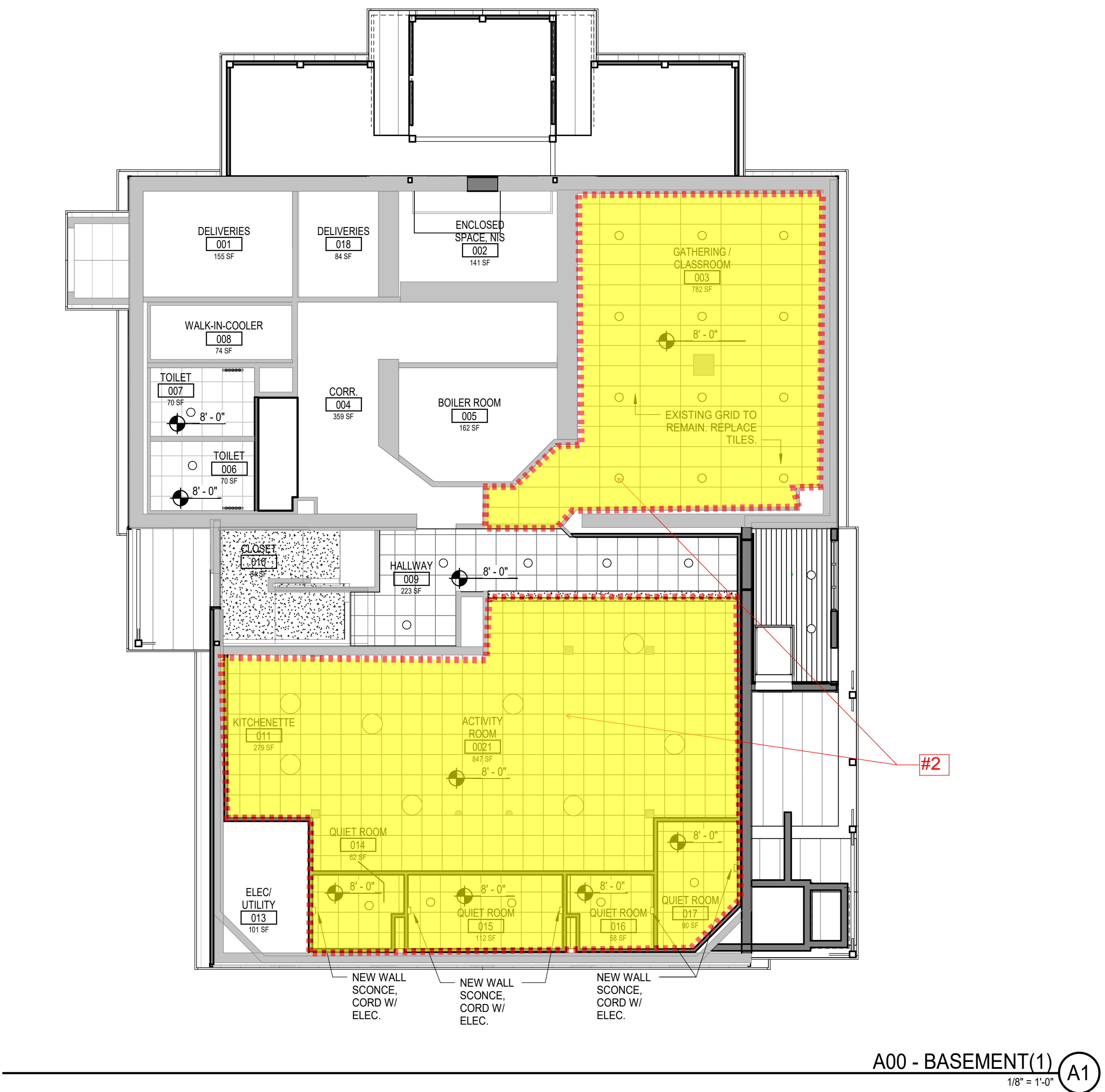


CEILING NOTES:

- SEE G1001 FOR GENERAL PROJECT NOTES.
- SEE FINISH SCHEDULE FOR CEILING AND CEILING GRID TYPES.
- EXCEPT WHERE INDICATED, CENTER CEILING GRIDS IN ROOMS. USE HALF TILES OF GREATER @ PERIMETERS WHEN POSSIBLE.
- ALIGN CEILING ITEMS AS SHOWN, WITH COMMON CENTERLINES TYPICALLY. CENTER ITEMS IN CEILING, OR IN AREAS UNLESS INDICATED OTHERWISE.
- WHERE REGULAR OR BEVELED TILE IS USED, PAINT ALL CUT EDGES TO MATCH.
- CAULK JOINT BETWEEN CEILING GRID (WALL ANGLE) AND WALL WHERE GAPS ARE LARGER THAN 1/8" OR GREATER.
- PROVIDE ACCESS PANELS AS REQUIRED IN GWB CEILINGS FOR ACCESS AS REQUIRED BY ALL TRADES.
- FIRE SPRINKLERS SHALL BE CENTERED IN CEILING TILE OR HALF TILE AS SHOWN. FIRE SPRINKLERS SHALL BE LOCATED IN ALIGNMENT WITH OTHER CEILING ITEMS AND SHALL BE PLACED IN COORDINATION WITH LIGHT FIXTURE POSITIONS INDICATED, TYPICAL.
- FIRE SPRINKLERS ARE SHOWN FOR COORDINATION PURPOSES ONLY. ADDITIONAL SPRINKLER HEADS MAY BE REQUIRED FOR CODE COMPLIANCE, AS DETERMINED BY THE FIRE PROTECTION DESIGNER. SPRINKLERS ARE NOT SHOWN IN ALL AREAS WHERE REQUIRED. FIRE PROTECTION CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE AND FULLY CODE COMPLIANT SYSTEM, INCLUDING HEADS NOT INDICATED IN THIS DRAWING. SIDEWALL MOUNT SPRINKLER HEADS UNDER BALCONIES ARE NOT SHOWN IN THE CEILING PLANS.
- SEE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- WHERE ARCHITECTURAL DRAWINGS DEPICT MECHANICAL OR ELECTRICAL ITEMS OR EQUIPMENT (LIGHTS, DIFFUSERS, ETC.), INSTALLATION OF SUCH ITEMS SHALL BE COORDINATED WITH EACH RESPECTIVE TRADE SUB-CONTRACTOR.
- WHERE DRAWINGS DO NOT ACCESS INSTALLATION METHODOLOGY, THE CONTRACTOR SHALL BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH THE MANUFACTURER'S SPECIFICATIONS, AND STANDARD INDUSTRY STANDARDS.
- CONTRACTOR TO COORDINATE ANY BLOCKING OR STRUCTURAL SUPPORT ABOVE THE CEILING FOR OWNER PROVIDED EQUIPMENT.

CEILING LEGEND:

- 2x2 CEILING TILE AND GRID
- 2x4 CEILING TILE AND GRID
- GWB CEILING
- DOWN LIGHT
- 2x4 LIGHT FIXTURE
- PENDANT LIGHT, SEE ELECTRICAL
- FLUSH MOUNT
- SURFACE MOUNTED LIGHT, SEE ELECTRICAL
- WALL MOUNTED



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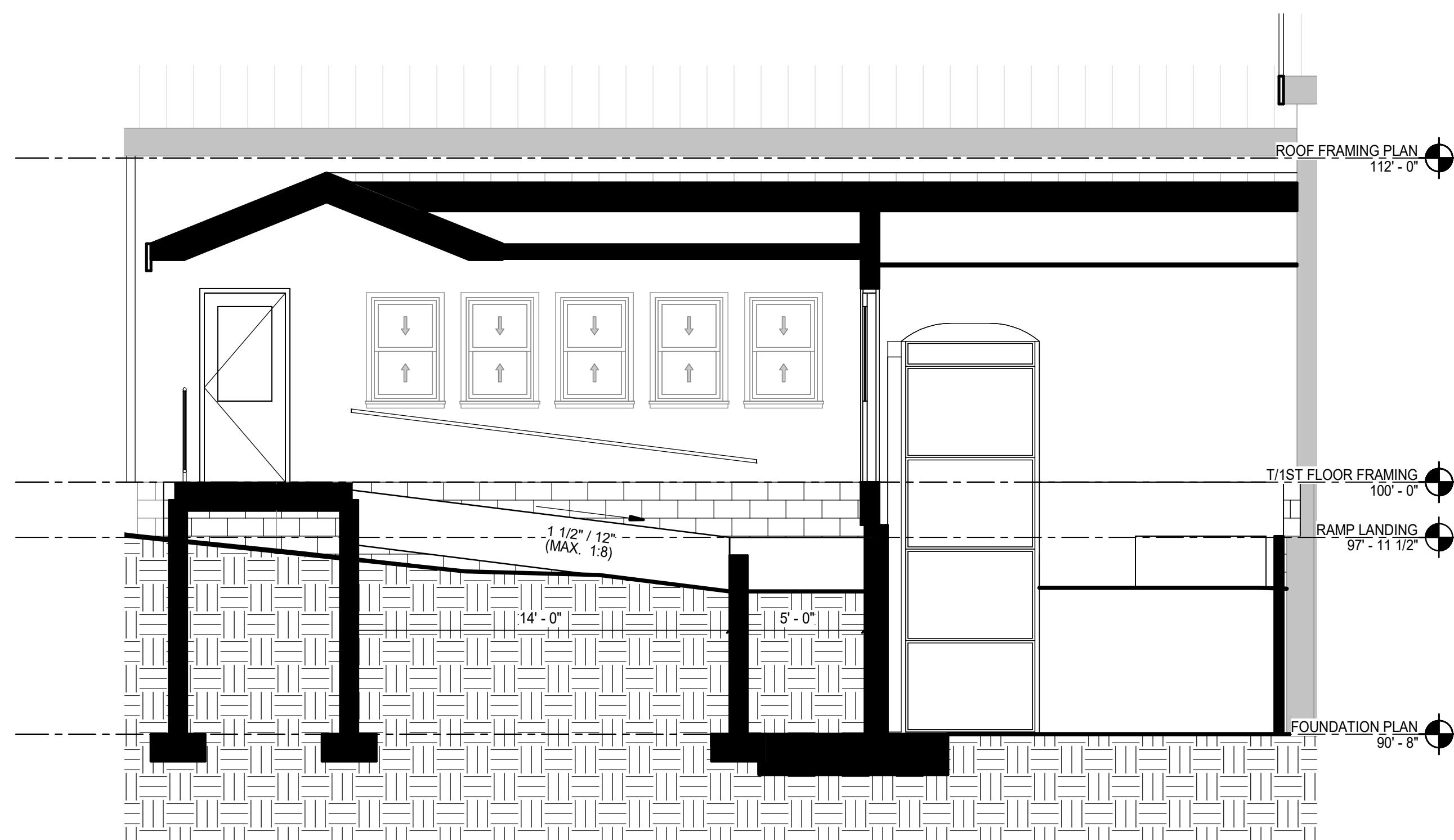
PROJECT LOCATION
**REFLECTED CEILING PLAN AND
ROOF PLAN**

SHEET TITLE:
0' 1/4" 1/2" 1" 2" 3"

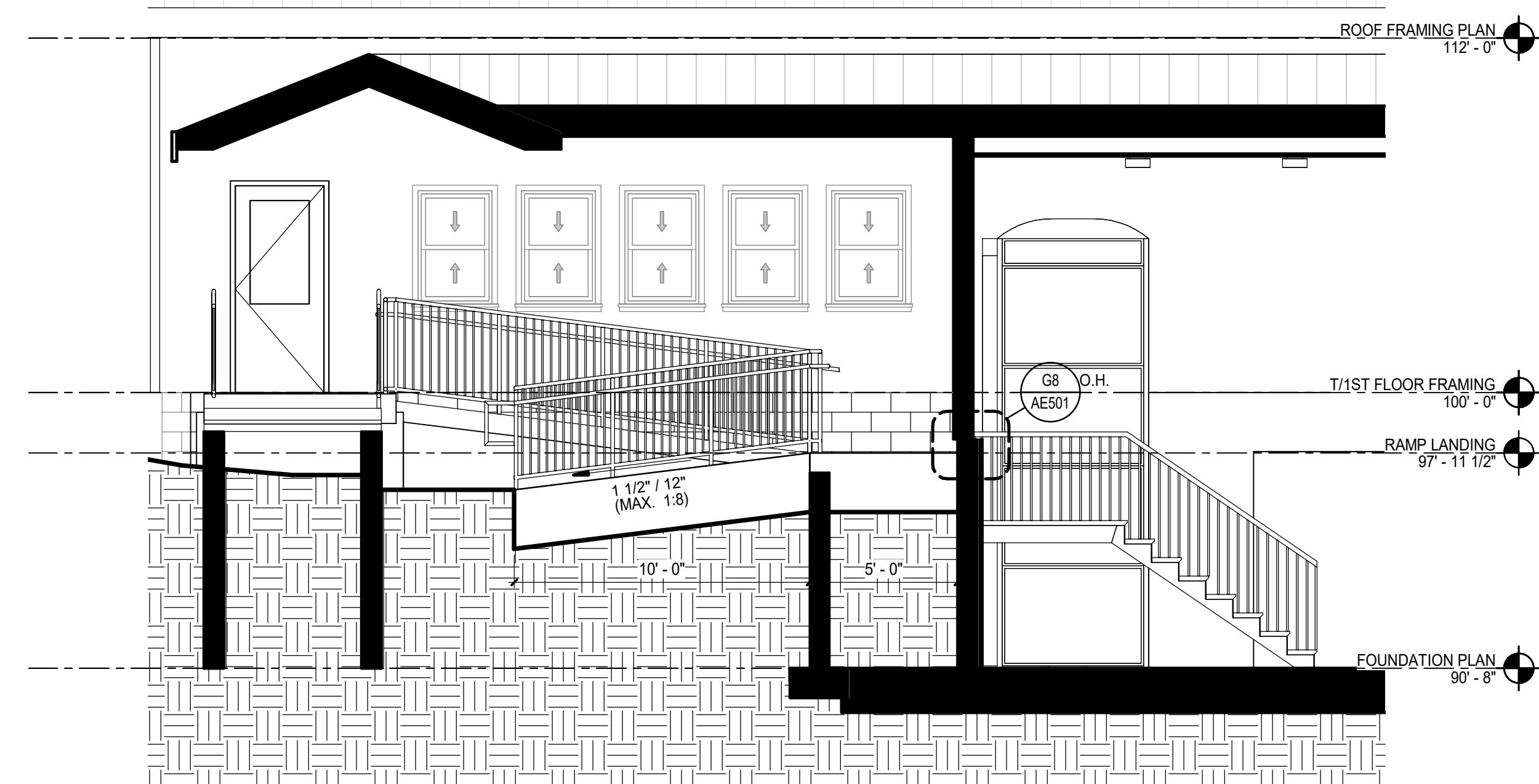
SCALE: AS NOTED

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DESIGNED BY:	RSC		
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SMRT FILE:	AE111-23039	SHEET No.	©2018 SMRT INC. SMRT 181

AE111



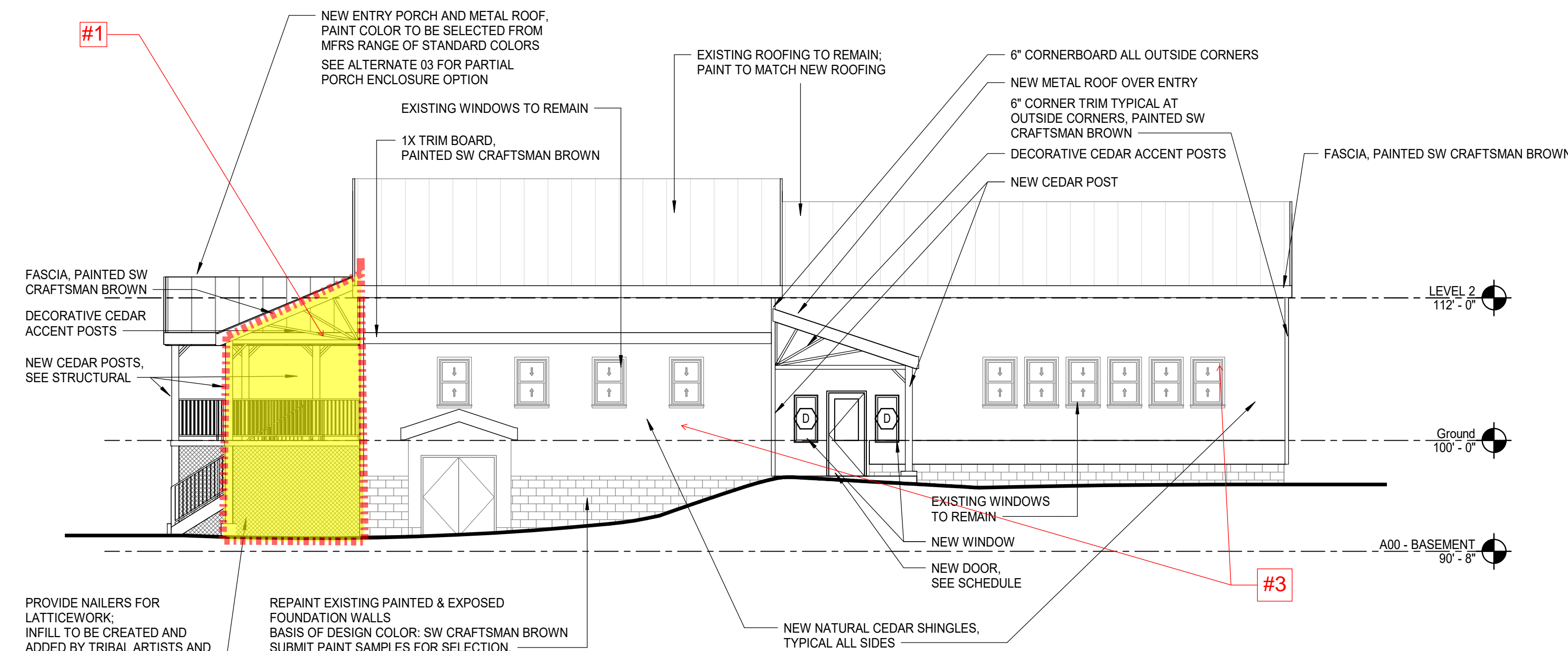
SECTION AT RAMP - UPPER (K10)
1/4" = 1'-0"



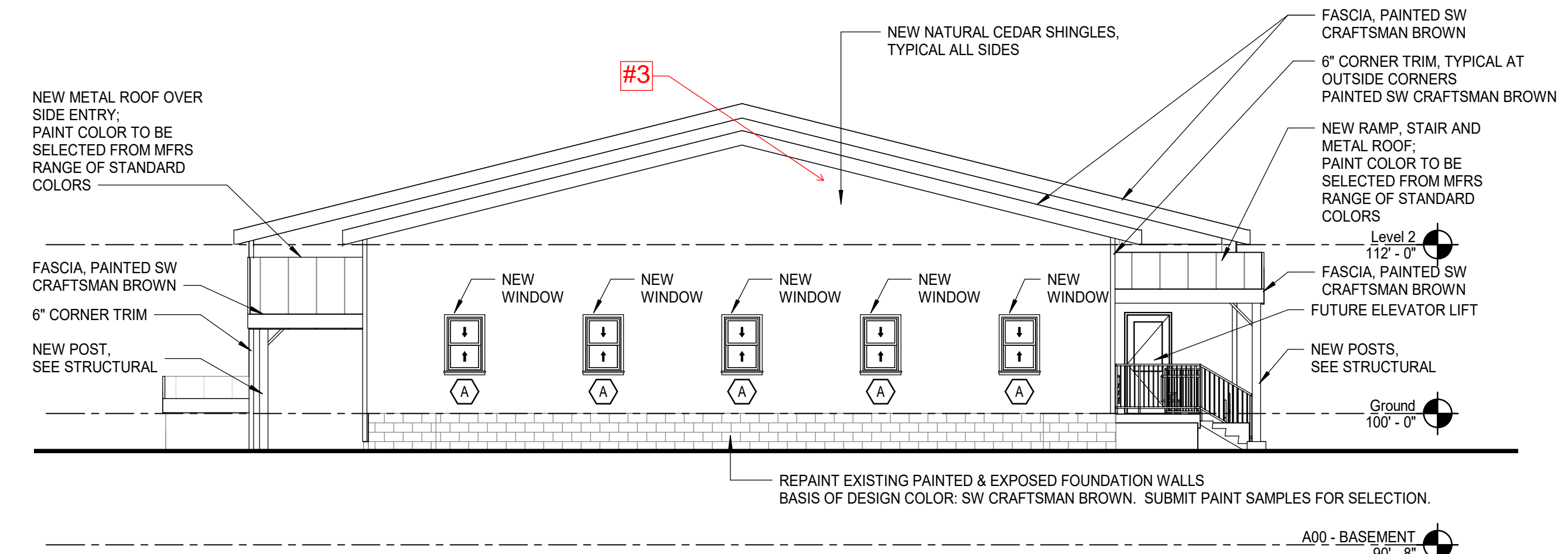
SECTION AT RAMP - LOWER (K1)
1/4" = 1'-0"

EXTERIOR ELEVATION NOTES:

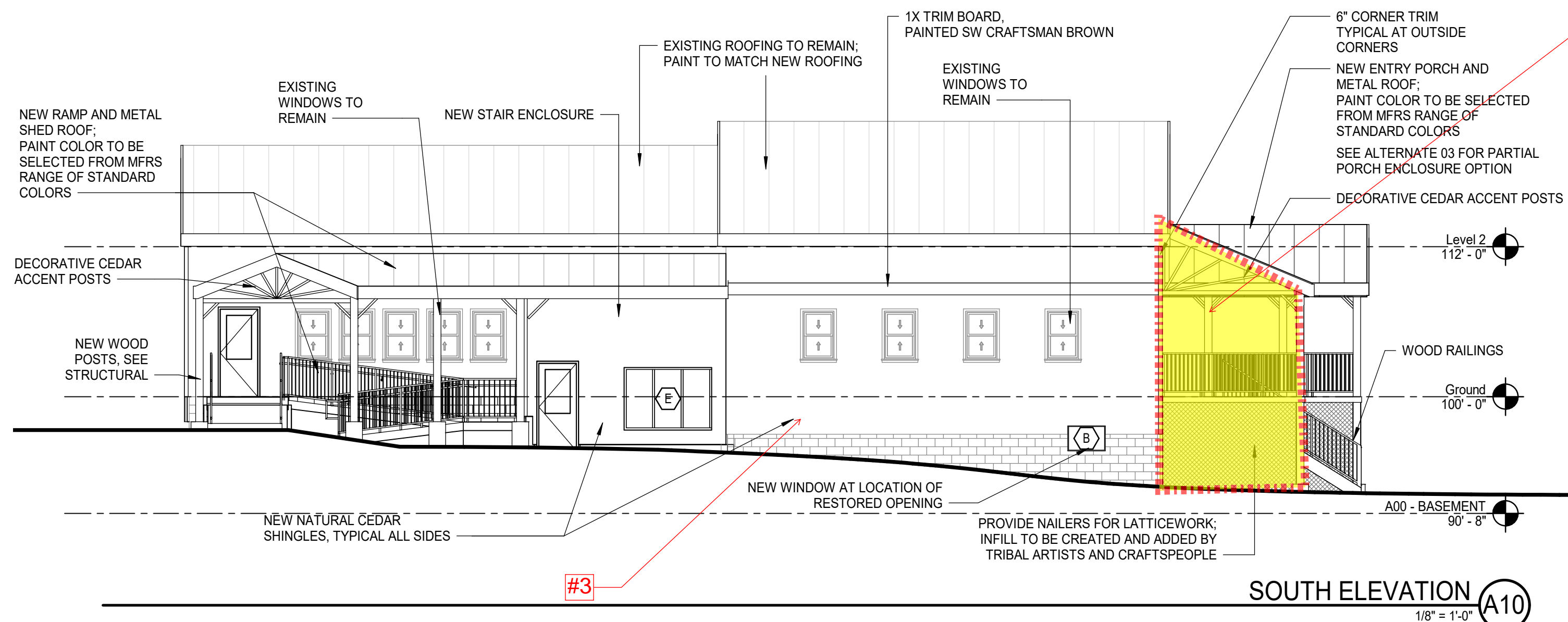
1. REFER TO FIRE PROTECTION, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ALL RESPECTIVE FIXTURE/DEVICE LOCATIONS, COUNTS, & ASSOCIATED RECESSED BOXES AT EXTERIOR WALLS.
2. PROVIDE MASONRY CONTROL JOINTS AT ALL INSIDE MASONRY CORNERS AND WHERE SHOWN ON ELEVATIONS



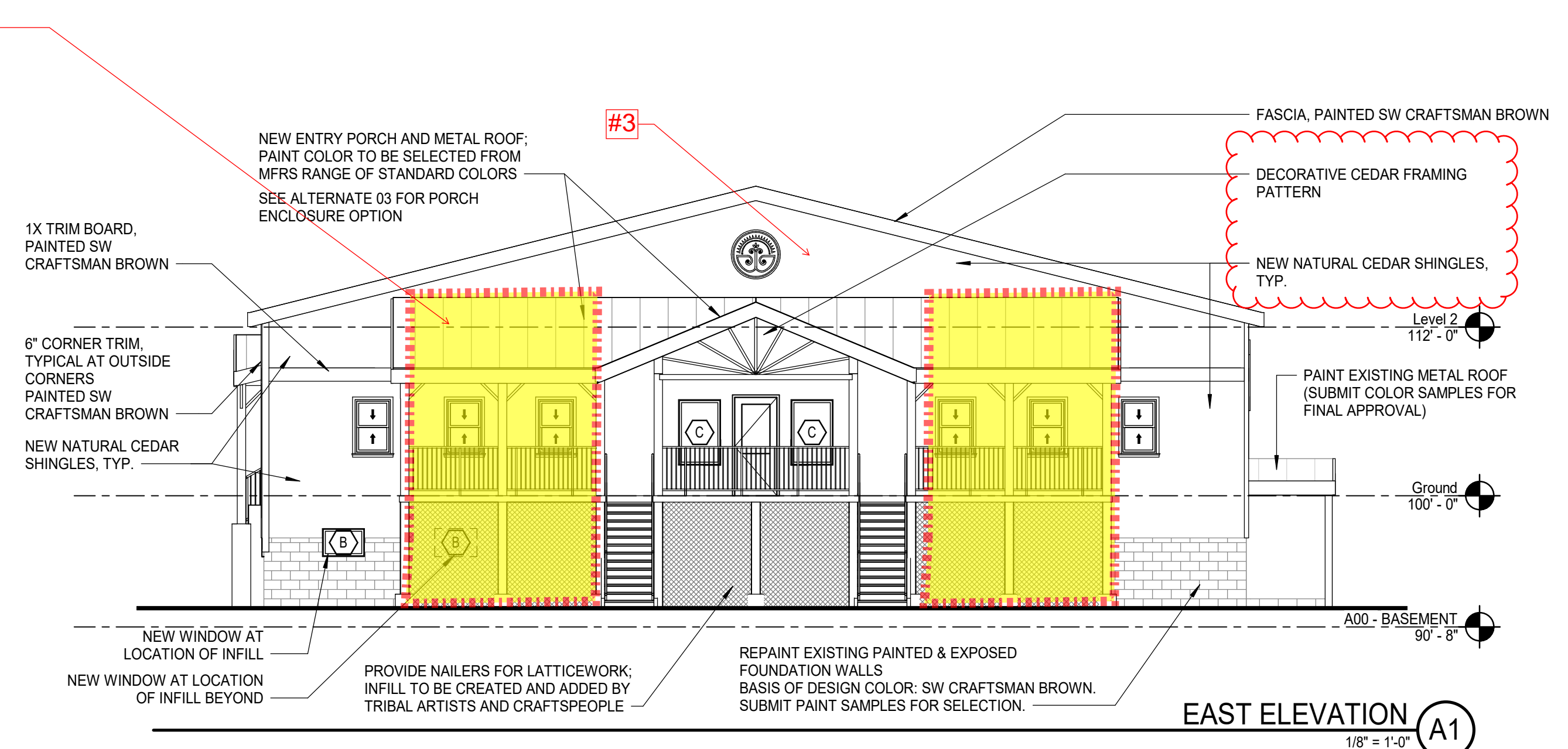
NORTH ELEVATION (D10)
1/8" = 1'-0"



WEST ELEVATION (D1)
1/8" = 1'-0"



SOUTH ELEVATION (A10)
1/8" = 1'-0"



EAST ELEVATION (A1)
1/8" = 1'-0"

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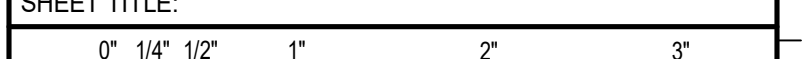
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PROJECT LOCATION
EXTERIOR ELEVATIONS & RAMP
SECTIONS

SHEET TITLE:



SCALE: AS NOTED

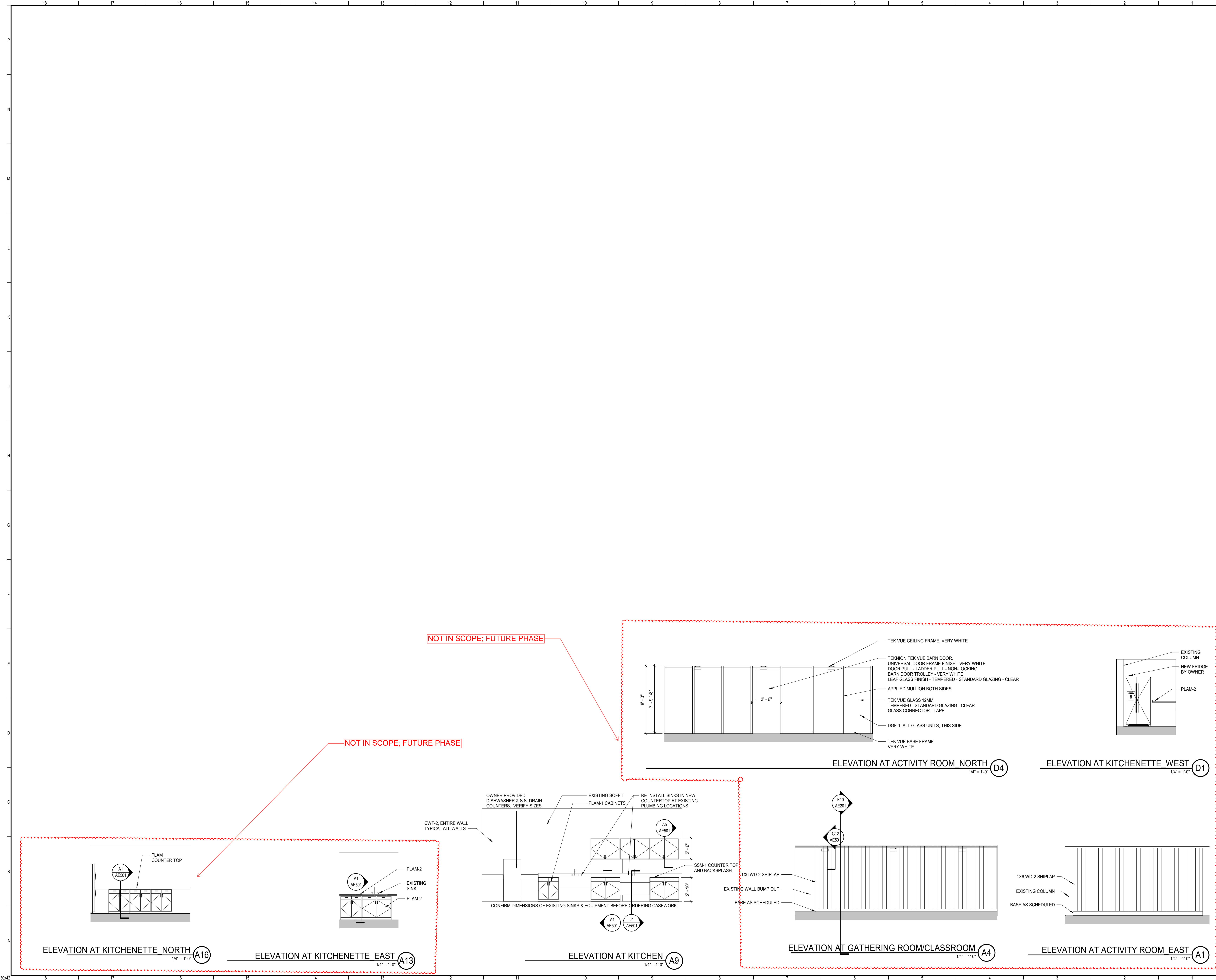
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DESIGNED BY: RSC

CHECKED BY: ACL

DRAWN BY: ACL

SMRT FILE: AE201-23039 SHEET No. AE201



INTERIOR ELEVATION NOTES:

1. REFER TO INTERIOR FINISH PLAN FOR FINISH MATERIAL DESCRIPTIONS

REV	DESCRIPTION	DATE
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02-07-25

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PROJECT LOCATION
INTERIOR ELEVATIONS

SHEET TITLE:



SCALE: AS NOTED

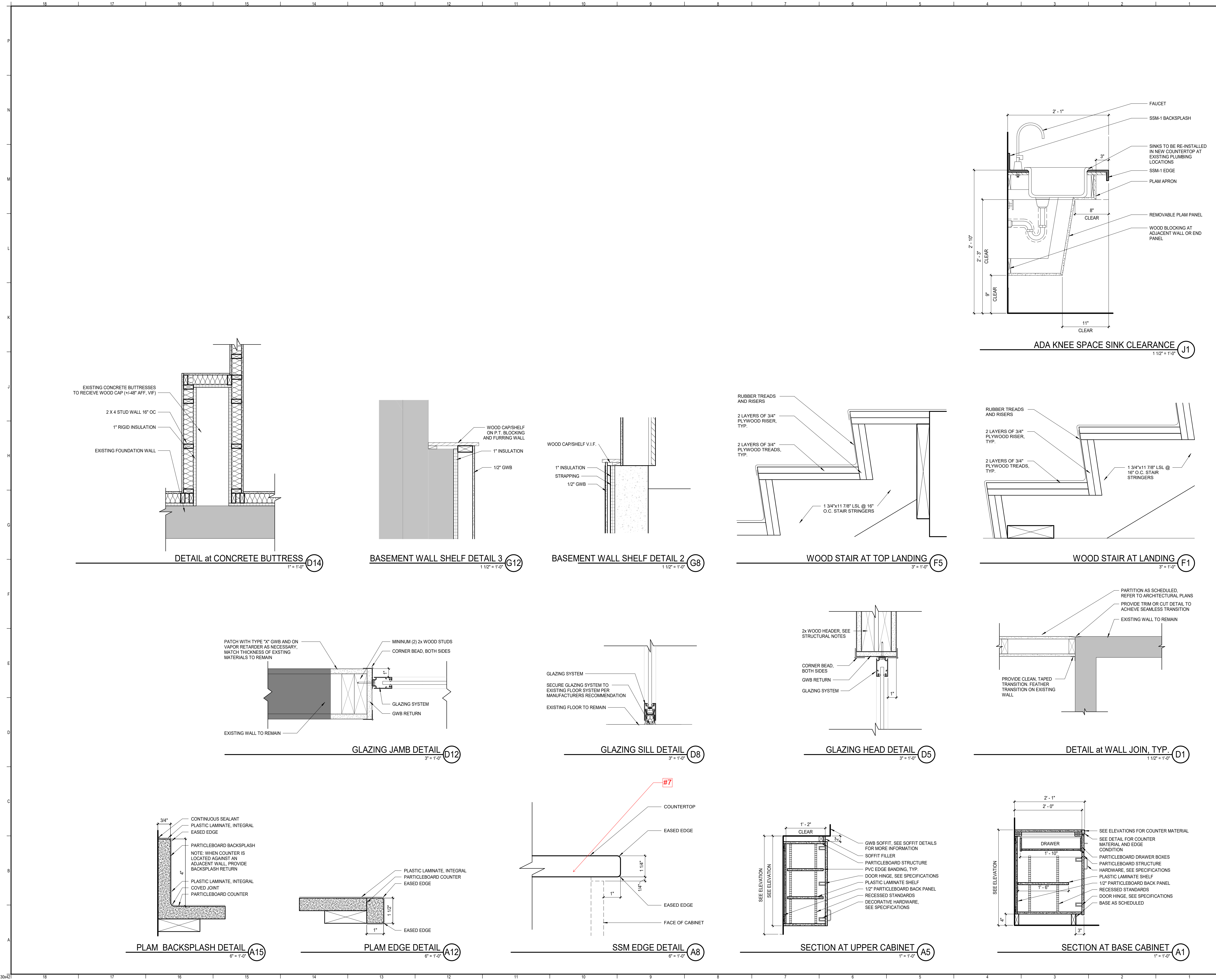
APPROVED BY: RSC PROJECT NO: 23039

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CHECKED BY: ACL

DRAWN BY: ACL

SMART FILE: AE211-23039 SHEET No. AE211



DETAIL NOTES:

1. REFERENCE G1001 FOR GENERAL NOTES.
2. REFERENCE STRUCTURAL DRAWINGS FOR TYPES, SIZES, CONNECTIONS, ELEVATIONS AND FINISH OF ALL STRUCTURAL ELEMENTS.
3. SPRAY FIRE-RESISTIVE MATERIAL IS NOT SHOWN FOR CLARITY PURPOSES. REFER TO SPECIFICATIONS FOR SPRAY FIRE-RESISTIVE MATERIAL REQUIREMENTS.

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PROJECT LOCATION
DETAILS

SHEET TITLE:
0' 1/4' 1/2' 1' 2' 3'

SCALE: AS NOTED
APPROVED BY: RSC PROJECT NO: 23039
DESIGNED BY: RSC
CHECKED BY: ACL
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SMRT FILE: AE501-23039 SHEET No. AE501



2. REFER TO FINISH PLANS FOR ADDITIONAL INFORMATION REGARDING TYPE AND LOCATION OF FINISHES.
3. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION ON FINISH PRODUCTS AND FINISHES.
3. REFER TO OTHER ELEVATIONS FOR ADDITIONAL INFORMATION ON FINISHES.
4. HVC GRILLES OR DIFFUSERS MOUNTED ON GWS SHALL BE FIELD PAINTED TO MATCH COLOR OF WALL.
5. ELECTRIC PANELS, SWITCHES, AND OUTLETS, ELECTRICAL ROOMS OR CLOSETS, SHALL BE FIELD PAINTED TO MATCH THE COLOR OF THE WALL ON WHICH IT IS MOUNTED.
6. GWS SHALL BE INDENTED TO RECEIVE AN ACCEENT COLOR SHALL BE PT-D1.
7. ALL GWS CEILINGS AND EXPOSED PIPING TO BE PAINTED AND PREPARED TO MATCH COLOR OF UNO.
8. REFER TO RCP FOR ADDITIONAL INFORMATION.
8. ALL FRAMES, TRIM AND BASE TO BE PT-D1, UNO.
9. IT IS TYPICALLY ASSUMED THAT ALL INTERIORS SURFACES WILL RECEIVE TWO FINISH COATS OVER A PRIMER.
10. HOWEVER IT IS EXPECTED THAT THE CONTRACTOR SHALL PROVIDE AS MANY COAT AS NECESSARY TO PROVIDE COMPLETE COVERAGE OF COLOR WITH NO STREAKS.
11. VERIFY SUITABILITY OF ALL SUBSTRATES AND COMPATIBILITY OF SUBSTRATES AND FINISHING SYSTEMS.
12. VERIFY PAINT MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS APPLICABLE TO PAINT SYSTEMS.
13. PATCH AND REPAIR HOLES, INDENTATIONS, AND OTHER DAMAGE ON EXISTING, PREVIOUSLY PAINTED WALLS SO THAT ALL FINISHES ARE OF THE SAME QUALITY AND LEVEL.
14. FINISH TO GREATEST EXTENT POSSIBLE.
15. EPOXY PAINT TO BE USED AT KITCHEN AND TOILET ROOMS.
16. ALL FINISHES TO BE MATCHED TO COLOR AS SPECIFIED ON ID SHEET. REFER TO SPECIFICATIONS.

CHECKED BY:	ACL
DRAWN BY:	EA

ID101

1. ALL PLUMBING GENERAL NOTES, SYMBOLS, LISTS AND DETAILS ARE TO BE CONSIDERED AS APPLICABLE TO ALL PLUMBING DRAWINGS FOR THIS PROJECT.
2. THE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND EXACT LOCATIONS AND ARRANGEMENTS OF EXISTING EQUIPMENT, DUCTWORK, PIPING AND OTHER COMPONENTS SHALL BE DETERMINED IN THE FIELD WITH DUE CONSIDERATION OF STRUCTURAL, ELECTRICAL AND ARCHITECTURAL SYSTEM. EXISTING STRUCTURAL SYSTEMS SHALL NOT BE MODIFIED WITHOUT THE EXPRESS PERMISSION OF THE ENGINEER.
3. IF REQUIRED THE PROJECT SHALL BE PHASED IN ACCORDANCE WITH THE APPROVED PHASING PLAN. THE CONTRACTOR SHALL OBTAIN APPROVAL FOR THE SEQUENCING AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. SEE SPECIFICATIONS.
4. CONTRACTOR IS TO MAINTAIN SERVICE TO ROOMS OUTSIDE THE PROJECT SCOPE OF WORK AND PHASING SCHEDULE. IF INTERRUPTION OF SERVICE IS REQUIRED COORDINATE SHUTDOWN WITH PROJECT ENGINEER AND OWNER.
5. CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN. RESTORE DAMAGED AREAS THAT ARE BEYOND THE SCOPE OF THIS CONTRACT TO THEIR ORIGINAL CONDITION.
6. WHERE INDICATED ON THE DRAWINGS, REMOVE OR RELOCATE EXISTING COMPONENTS AS REQUIRED TO ACCOMMODATE THE NEW WORK. REMOVALS SHALL INCLUDE ALL ASSOCIATED OFF-SITE DISPOSAL COSTS.
7. COORDINATE REMOVALS AND RELOCATIONS INCLUDING SELECTIVE CUTTING AND PENETRATIONS WITH ARCHITECTURAL, MECHANICAL STRUCTURAL AND ELECTRICAL CONTRACTORS.
8. MOST PARTITIONS ARE FULL HEIGHT AND REQUIRE UTILITIES PENETRATIONS TO BE SEALED. SEE ARCHITECTURAL DRAWINGS FOR PARTITION HEIGHTS. DUCTWORK SHOWN FOR CLARITY THAT MAY RUN PARALLEL TO WALL PARTITIONS WILL REQUIRE LOCATING IN THE FIELD TO MINIMIZE CLASH WITH PARTITIONS.
9. FIELD VERIFY EXISTING EQUIPMENT AND PIPING PRIOR TO REMOVE OR REUSE. CONFIRM WITH PROJECT ENGINEER THAT ALL EQUIPMENT AND PIPING INDICATED TO BE REMOVED IS NO LONGER IN SERVICE PRIOR TO ITS REMOVAL. PROJECT ENGINEER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL DEMO EQUIPMENT.
10. EXISTING EQUIPMENT AND PIPING TO REMAIN IN SERVICE SHALL BE INSPECTED. REPORT INOPERABLE EQUIPMENT TO PROJECT ENGINEER.
11. ALL UNUSED (ABANDONED), PIPING AND EQUIPMENT INDICATED TO BE REMOVED SHALL BE REMOVED AND CAPPED.
12. TIE-IN POINT LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL DETERMINE EXACT LOCATIONS IN THE FIELD BASED ON EXISTING CONDITIONS.
13. COORDINATE THE LOCATIONS OF ALL WALL MOUNTED EQUIPMENT WITH FINAL EQUIPMENT/FURNITURE LAYOUT.
14. AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A CLEAN AND NEAT CONDITION.
15. INSTALL EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND GOOD PRACTICE NORMAL TO THE TRADE. INSTALLATION SHALL INCLUDE PROVISIONS FOR ACCESS TO NORMAL MAINTENANCE ITEMS, PROVIDE ADEQUATE STRUCTURAL SUPPORTS AND SECURE MOUNTING METHODS WITH PROVISIONS FOR VIBRATION ISOLATION AND EXPANSION WHERE REQUIRED.
16. COORDINATE ALL PENETRATIONS WITH GENERAL CONTRACTOR. SEE ARCHITECTURAL DRAWINGS FOR PENETRATIONS DETAILS. PLUMBING CONTRACTOR SHALL PROVIDE FLASHING AND COUNTER FLASHING FOR ROOF PENETRATIONS AS REQUIRED.
17. PROVIDE PIPE SUPPORTS, GUIDES AND OFFSETS AS NECESSARY TO PREVENT UNDUE STRAIN ON PIPING.
18. SEE DETAILS, PIPING DIAGRAMS AND MANUFACTURER'S RECOMMENDATIONS FOR ADDITIONAL VALVES & FITTINGS NECESSARY FOR COMPLETE PIPING SYSTEM.
19. CONTRACTOR TO COORDINATE ALL WORK WITH OTHER BUILDING TRADES, RELOCATION OF EXISTING UTILITIES MAY BE NECESSARY TO ACCOMMODATE INSTALLATION OF NEW EQUIPMENT OR DUCTWORK.
20. SEE SPECIFICATIONS FOR OTHER REQUIREMENTS.
21. CONTRACTOR SHALL FIELD VERIFY ALL CLEARANCES AND DIMENSIONS.
22. PROVIDE ACCESS PANELS FOR ALL CONCEALED SHUT-OFF VALVES EXCEPT THOSE ABOVE SUSPENDED CEILING.
23. INFILL ALL NEW OR EXISTING ABANDONED FLOOR SLAB PENETRATIONS WITH GROUT, FULL THICKNESS OF SLAB. MAINTAIN FIRE RATING. ALL EXISTING CONCRETE FLOORS AND CHASES ARE 2-HR FIRE RATED.
24. ALL DOMESTIC WATER SUPPLY, VENT AND MEDICAL GAS PIPING SHALL BE RUN ABOVE CEILINGS OR WITHIN PARTITIONS UNLESS OTHERWISE NOTED.
25. PLUMBING RISERS SHALL BE RUN CONCEALED WITHIN WALLS OR CHASES. COORDINATE WITH ARCHITECTURAL DRAWINGS.
26. SANITARY LINES SHALL SLOPE 1/4" PER FOOT UNLESS NOTED OTHERWISE.
27. COORDINATE WITH BUILDING OWNER PRIOR TO CUTTING OR GRINDING FLOORS.
28. INSTALLATION SHALL PERMIT ACCESSIBILITY FOR SERVICE AND/OR REPLACEMENT OF EQUIPMENT PROVIDED. PROVIDE ACCESS PANELS TO ALLOW ACCESS TO SYSTEMS COMPONENTS THAT REQUIRE INSPECTION AND MAINTENANCE ACCORDING TO MANUFACTURER'S LITERATURE.
29. NEW PIPING LOCATIONS ON THE PLANS ARE DIAGRAMMATIC. TO THE EXTENT POSSIBLE THE CONTRACTOR SHALL INSTALL PIPING SYSTEMS TO MINIMIZE RUN LENGTHS TO FIXTURES.

GENERAL REQUIREMENTS

1. SCOPE OF WORK:
 - A. DESIGN BUILD CONTRACTOR IS RESPONSIBLE FOR PREPARING CONSTRUCTION DRAWINGS STAMPED BY A LICENSED ENGINEER IN THE STATE OF MAINE.
 - B. A COMPLETE NEW PLUMBING SYSTEM SHALL BE DESIGNED AND INSTALLED INCLUDING DOMESTIC HOT AND COLD WATER AND DOMESTIC SANITARY WASTE AND VENT, AND CONDENSATE DRAINAGE (IF REQUIRED).
 - C. EXISTING DOMESTIC WATER PIPING SHALL BE REMOVED AND REPLACED WITH NEW THROUGHOUT THE BUILDING TO A POINT 10' OFF THE FOUNDATION WALL. SANITARY DRAINAGE PIPING SHALL BE REMOVED IN ITS ENTIRETY FROM FIRST FLOOR FIRES. UNDERDRAIN PIPING SHALL BE MODIFIED AS NECESSARY TO ACCOMMODATE THE INSTALLATION OF NEW FIXTURES. ABANDONED UNDERSLAB PIPING SHALL BE CAPPED AT BOTH ENDS AND FILLED WITH SAND. VENT PIPING SHALL BE REMOVED AND REPLACED IN ITS ENTIRETY.
 - D. WATER UNDER SINKS AND WATER METER SHALL BE PROVIDED AT WATER ENTRANCE. WATER METER SHALL MEET TOWN REQUIREMENTS.
 - E. DOMESTIC COLD AND HOT WATER SYSTEMS SHALL BE INSTALLED TO SERVE NEW FIXTURES IN THE BASEMENT AND ON THE FIRST FLOOR. NEW PIPING WILL BE INSTALLED TO KEEP VELOCITIES BELOW 8 FPS ON THE DOMESTIC COLD AND 4 FPS ON THE DOMESTIC HOT.
 - F. A NEW OIL FIRED, ATMOSPHERIC, HOT WATER HEATER SHALL BE SIZED AND INSTALLED TO SERVE BUILDINGS HOT WATER NEEDS. THIS UNIT SHALL BE LOCATED IN BASEMENT BOILER ROOM.
 - G. COLD WATER DISTRIBUTION SHALL BE INSULATED WITH CLOSED CELL ELASTOMERIC INSULATION AND WILL INCLUDE PVC FITTING COVERS AND AN ALL-SERVICE JACKET. HOT WATER DISTRIBUTION SYSTEMS SHALL BE INSULATED WITH FIBERGLASS AND WILL INCLUDE PVC FITTING COVERS AND AN ALL-SERVICE JACKET. PROVIDE PVC JACKETING ON ALL PIPING LOWER THAN 10'FEET AFF.
 - H. SANITARY VENT AND WASTE SYSTEMS SHALL BE INSTALLED TO SERVE NEW FIXTURES IN THE BASEMENT AND ON THE SECOND FLOOR.
 - I. CONDENSATE DRAIN FROM ALL MINISPLIT SYSTEMS SHALL BE ROUNTED TO SANITARY DRAIN VIA INDIRECT WASTE OR DISCHARGED IN AN APPROVED DISPOSAL AREA.
 - J. ALL NEW FIXTURES SHALL BE PROVIDED AND INSTALLED BY PLUMBING CONTRACTOR AS INDICATED ON ARCHITECTURAL FLOOR PLANS AND PLUMBING PERFORMANCE SPECIFICATIONS. NEW FIXTURES SHALL BE ADA COMPLIANT. COMMERCIAL GRADE, WHITE VITREOUS CHINA WITH CHROME PLATED BRASS FAUCETS AND LOW WATER CONSUMPTION UNLESS NOTED OTHERWISE. NEW WATER CLOSETS SHALL BE PRESSURE ASSISTED FLUSH TANK STYLE. FAUCETS ON LAVS SHALL BE RESIDENTIAL TWO HANDLED HIGH-ARC STYLE.
 - K. FLOOR DRAIN OF THE FIRST FLOOR SHALL BE REUSED AND INSTALLED IN NEW COUNTERS. NEW SUPPLY, WASTE AND VENT PIPING SHALL BE PROVIDED TO THESE FIXTURES. A NEW DISHWASHER, PROVIDED BY OWNER, SHALL BE INSTALLED TO REPLACE CURRENT UNIT.
 - L. SHOWER ENCLOSURE. SMOOTH FINISH, WHITE, PROVIDE SHOWER ROD & ROLLING HOOKS, TYPICAL.
 - a. ROOMS 111, 122, 128 SINGLE-PIECE 30" X 60" COMPATIBLE SHOWER ENCLOSURE, 4" CURB, GRAB BARS & INTEGRAL SEAT.
 - b. ROOM 111A MULTI-PIECE 30" X 54" SHOWER ENCLOSURE KIT, 4" CURB, GRAB BAR, CENTER DRAIN.
 - c. ROOM 102 SINGLE 32" X 60" TUB SHOWER COMBINATION WITH LEFT CURB.
 - M. SHOWER FIXTURE, ADA COMPLIANT CONTROL SYSTEM, 1.5 GPM, 34" THRESHOLD TYPICAL.
2. THE FOLLOWING APPLIES TO PLUMBING AND PROCESS PIPING TRADES.
3. OBTAIN ALL PERMITS AND APPROVALS TO PERFORM THE WORK.
4. VERIFY ALL MEASUREMENTS AND EXISTING CONDITIONS IN THE FIELD. GENERAL SCHEMATIC LAYOUT IS INDICATED. ALL OFFSETS OBSTRUCTIONS, AND EXISTING CONFIGURATIONS AND CONSTRAINTS MUST BE FIELD VERIFIED.
5. INSTALL ALL NEW AND RELOCATED EXISTING COMPONENTS IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS, APPLICABLE CODES AND STANDARDS.
6. COORDINATE ELECTRICAL POWER REQUIREMENTS FOR ALL MOTORS.
7. COORDINATE WITH OWNER FURNISHED EQUIPMENT AND SYSTEMS.
8. THIS RENOVATION WORK WILL TAKE PLACE IN OCCUPIED SPACE. INSTALLATIONS SHALL NOT AFFECT ONGOING OPERATIONS. COORDINATE HOURS AVAILABLE TO PERFORM WORK WITH THE OWNER AND GENERAL CONTRACTOR.
9. SEAL INTERIOR PIPE PENETRATIONS WITH FIRE SEALANT. SEAL EXTERIOR WALL PIPE PENETRATIONS WATER TIGHT.
10. CUT AND PATCH SURFACES, RESTORING ORIGINAL FINISHES.
11. EQUIPMENT LEVEL IS THE BASIS OF DESIGN, OR APPROVED EQUAL.
12. SUBMITTALS, PRE-CONSTRUCTION: SUBMIT CATALOG CUT SHEETS OF PROPOSED EQUIPMENT FOR ENGINEER REVIEW AND APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
13. SUBMITTALS, DURING CONSTRUCTIONS: SUBMIT COPIES OF PIPE ROUGH-IN PRESSURE TESTS AS COMPLETED.
14. SUBMITTALS, POST CONSTRUCTION: SUBMIT COPIES OF FINAL PRESSURE TEST, FLUSHING AND PLUMBING DISINFECTION REPORTS. SUBMIT COPIES OF COMPLETED MANUFACTURER START UP REPORTS FOR EQUIPMENT.
15. OPERATIONS AND MAINTENANCE MANUALS: SUBMIT ALL TESTING DATA AND COPIES OF APPROVED PRODUCT DATA, INCLUDING MAINTENANCE INFORMATION IN A TABBED, NEATLY ORGANIZED THREE RING BINDER. INCLUDE VALVE IDENTIFICATION CHARTS PROVIDED 3 COPIES TO THE OWNER.
16. PIPE IDENTIFICATION: LABELLING SHALL APPEAR AT INTERVALS OF NOT MORE THAN 20 FEET AND AT LEAST ONCE IN EACH ROOM AND EXISTORY TRAVERSED BY THE PIPING SYSTEM. ALL PIPING SHALL BE CLEARLY IDENTIFIED SPECIFICALLY FOR TYPE OF SERVICE WITH COILED PLASTIC PIPE MARKERS AND FLOW DIRECTION ARROWS. ALL LABELS SHALL COMPLY WITH UNIVERSITY STANDARD.
17. RECORD DRAWINGS: MAINTAIN A CURRENT SET OF MARKED UP CONSTRUCTION DRAWINGS ON SITE AT ALL TIMES. PROVIDE A COMPLETE SET OF THESE RECORD MARK-UPS TO THE ARCHITECT AT THE END OF THE PROJECT.
18. ASTM E84 COMPLIANCE: INSULATION AND OTHER MATERIALS SHALL COMPLY WITH THE FLAME AND SMOKE SPREAD RATINGS.
19. USE OF SILICON BASED SEALANTS IS NOT ALLOWED.
20. USE OF PIPE DOPE IS NOT ALLOWED.

PERFORM PLUMBING WORK PER THE LATEST EDITIONS OF THE MAINE PLUMBING CODE (MPC 2015)

1. INSTALL PIPE COMPLETE WITH: PIPE, FITTINGS, VALVES, STRAINERS, HANGERS, SUPPORTS, GUIDES, SLEEVES AND ACCESSORIES, INCLUDE ESCUTCHEONS AT THRU-WALL AND THRU-FLOOR PENETRATIONS IN FINISHED SPACES.

PIPE SUPPORTS: PROVIDE ADEQUATE SUPPORT FOR THE PIPE AND CONTENTS TO PREVENT SAGGING, VIBRATION, AND SWAYING AND ALLOW FOR EXPANSIONS AND CONTRACTION. PROVIDE SUPPLEMENTAL SLEAVE AS REQUIRED WHERE STRUCTURE CANNOT SUPPORT POINT LOADS. WHERE CONNECTING TO EXISTING ROOF JOISTS, CONNECT AT TOP. CHORDS AND JOISTS ONLY. PROVIDE PIPING TO BE SUPPORTED BY FORGED STEEL ADJUSTABLE CLEVIS TYPE HANGERS, UNLESS OTHERWISE NOTED ON DRAWINGS.

A. PROVIDE TRENCHING, SUITABLE FILL AND CONTINUOUS SUPPORT FOR BURIED SYSTEMS. PROVIDE WARNING TAPE IN TRENCH, ABOVE PIPING PRIOR TO COMPLETION OF BACKFILL.

B. PROVIDE INSULATION SHIELDS ON INSULATED LINES.

PLUMBING FIXTURES

1. FIXTURES TO BE COMMERCIAL GRADE, LOW CONSUMPTION, AND ADA COMPLIANT WHERE INDICATED ON THE PLANS AND WHERE REQUIRED BY CODE.

2. PROVIDE ALL FIXTURES WITH STOP VALVES, CHROME PLATED TUBE SUPPLY, AND FIXTURE TAPS AS REQUIRED.

3. REFER TO ARCHITECTURAL DOCUMENTS FOR EXACT LOCATIONS AND MOUNTING HEIGHTS OF ALL PLUMBING FIXTURES.

1. SHOCK ABSORBERS AND AIR CHAMBERS: PROVIDE WATER HAMMER ARRESTORS ON WATER SUPPLIES TO QUICK CLOSING SOLENOID VALVES. WHERE NOT PROVIDED, CONNECT TO FIXTURES USING AIR CHAMBERS.
2. PROVIDE ACCESS AND ACCESS PANELS TO PROVIDE ACCESSIBLE EQUIPMENT AND SPECIALTIES. WHERE NECESSARY, PROVIDE METAL UNITS WITH LOCKS. CONFIGURATION AND TRIM AS REQUIRED BY FINISH WALL SURFACE. APPROVED MANUFACTURERS INCLUDE KARP, MILCOR, NYSTROM, OR APPROVED EQUAL.

1. PROVIDE ALL PIPING COMPLETE WITH FITTINGS, VALVES, STRAINERS, MOTORIZED VALVE OPERATORS, STRAINERS, HANGERS, SUPPORTS, GUIDES, SLEEVES, AND ACCESSORIES.
2. PRESSURE TEST ALL PIPING TO 150 PSI OR 150% OF OPERATING PRESSURE, WHICHEVER IS GREATER, BUT NEVER EXCEED TEST PRESSURE ANSI B16.1. TEST DURATION TO BE 2 HOURS WITH NO PRESSURE CHANGE CORRECTED FOR TEMPERATURE CHANGE.
3. LEAKS AT OR NEAR THE PIPING SHALL BE REPAIRED. ALL OUTLETS AND FILL PIPING SYSTEM TO OVERFLOWING FROM A POINT AT LEAST 10 FT ABOVE THE FLOOR. WATER LEVEL SHALL REMAIN CONSTANT THROUGHOUT A 2 HOUR TEST DURATION.
4. REPAIR OR REPLACE LEAKS OR DEFECTS WITHOUT ADDITIONAL COST.
5. PROVIDE DIELECTRIC FITTINGS WHERE DISSIMILAR METALS ARE TO BE JOINED.
6. PROVIDE ADEQUATE SUPPORT FOR PIPE AND CONTENTS TO PREVENT SAGGING, VIBRATION, OR SWAYING AND ALLOW FOR EXPANSION AND CONTRACTION. PROVIDE SUPPORTS AND PARTITIONS WHERE STRUCTURAL REQUIREMENTS SUPPORT POINT LOADS.
7. ALL EXPOSED PIPING PASSING THROUGH WALLS, FLOORS, CEILING, AND PARTITIONS SHALL BE PROVIDED WITH CHROME PLATED COUPLERS AND CONTAINERS HELD IN PLACE WITH SET SCREWS.
8. ABOVE GRADE SANITARY DRAINAGE AND VENT PIPING: HURDLESS CAST IRON SOIL PIPE AND FITTINGS WITH ANCON JOINTS. ALL PIPING SHALL BE INSULATED TO PREVENT CONDENSATION AND FROSTING.
9. DOMESTIC CW AND HW PIPING SHALL BE COPPER, TYPE L, HARD DRAWN IN ACCORDANCE WITH ASTM B88, AND LEAD-FREE SOLDER JOINTS.
10. INSPECTIONS AND TESTS SHALL BE PERFORMED ON THE PIPING INSTALLATION AS REQUIRED BY CODE.
11. PITCH SANITARY DRAINAGE PIPING AT 1/4" PER FT. PITCH DOMESTIC CW, HW, AND VENT PIPING TOWARDS SOURCE.

1. APPLICABLE SYSTEMS:
 - A. DOMESTIC COLD AND HOT (CW, HW)
2. PROVIDE COMPONENTS AND INSTALLATIONS CAPABLE OF PRODUCING PIPING SYSTEMS WITH THE FOLLOWING MINIMUM WORKING PRESSURE RATINGS, UNLESS OTHERWISE NOTED.
 - A. ABOVE GROUND WATER PIPING SYSTEMS: 125 PSIG
3. ABOVE GRADE DOMESTIC: HARD DRAWN TYPE I SEAMLESS COPPER TUBING, COPPER FITTINGS AND LEAD-FREE SOLDERED JOINTS, OR VIEGA PRO-PRESS FITTINGS.
4. WATER PIPING SYSTEM VALVES: BRONZE BODIED VALVES, AS MANF BY HAMMOND, JENKINS, NIBCO.
 - A. SHUT-OFF DUTY: FULL PORT BALL VALVES
 - B. WATER PIPING DUTY: SWING STYLE CHECK VALVES
 - C. HIGH-POINT VENTS AND LOW POINT DRAINS: FULL PORT BALL VALVES WITH CAP AND CHAIN.
 - D. THROTTLING DUTY: FIELD ADJUSTABLE CIRCUIT SETTERS.
5. WATER PIPING SYSTEM INSULATION: PROVIDE CLOSED CELL ELASTOMER INSULATION ON ABOVE GRADE WATER PIPING SYSTEMS.
 - A. PIPING UP TO 1-1/4-INCH: 1/2-INCH THICK
 - B. PIPING LARGER THAN 1-1/4-INCH: 1-INCH THICK.
6. WATER PIPING SYSTEM TESTING: PRESSURIZE PIPING SYSTEMS TO 1.5 TIMES THEIR WORKING PRESSURE FOR A PERIOD OF 4 HOURS, OR AS DIRECTED BY PLUMBING OFFICIALS. MAKE CORRECTIONS AND RETEST AS NECESSARY. PROVIDE TEST REPORTS.
7. WATER PIPING SYSTEM FLUSHING AND CLEANING: FLUSH PIPING SYSTEMS WITH WATER. DISINFECT WITH A WATER - CHLORINE SOLUTION (100 PPM CHLORINE) FOR 24 HOURS, OR AS DIRECTED BY PLUMBING OFFICIALS. FLUSH SYSTEMS AND PROVIDE WATER QUALITY REPORTING.

1. APPLICABLE SYSTEMS:
 - A. SANITARY WASTE AND VENT
 - B. CONDENSATE DRAIN
2. PROVIDE COMPONENTS AND INSTALLATIONS CAPABLE OF PRODUCING PIPING SYSTEMS WITH THE FOLLOWING MINIMUM WORKING PRESSURE RATINGS, UNLESS OTHERWISE NOTED.
 - A. GRAVITY FLOW DWV PIPING SYSTEMS: 10 FT. HEAD
3. ABOVE GRADE GRAVITY FLOW WASTE AND VENT PIPING SYSTEMS:
 - A. SCHEDULE 40 PVC, GLUE JOINTS
 - B. DWV TYPE COPPER WHEN EXPOSED TO RESIDENTS
 - C. TYPE L COPPER FOR CONDENSATE DRAIN
 - D. PLUMBING FIXTURE P-TRAPS & TAIL PIPES CHROME PLATED, CAST BRASS
4. PROVIDE TRUBO LAR GUARD 2 INSULATION AND COVERS ON ALL EXPOSED P-TRAPS, STOPS AND FLEX TO SINKS.

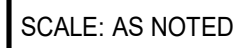
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REV	DESCRIPTION	DATE

CURRENT ISSUE STATUS



PROJECT LOCATION

SHEET TITLE



M-002

SMRT FILE: M-002-23039 SHEET No. 10

LIGHTING

2x4 FIXTURE ASSOCIATED CONTROL DEVICE
FIXTURE TYPE (SEE LIGHT FIXTURE SCHEDULE)

1x4 FIXTURE

2x2 FIXTURE

FIXTURE WIRED TO UNSWITCHED NORMAL CIRCUIT

FIXTURE WIRED TO UNSWITCHED EMERGENCY SOURCE (INVERTER)
- FIXTURE SHALL ALSO OPERATE AS NIGHT LIGHT (24 OPERATION)

FIXTURE WIRED TO SWITCHED EMERGENCY CIRCUIT

DOWN LIGHT

INDUSTRIAL STRIP

WALL MOUNTED FIXTURES

TRACK LIGHTING

POLE MOUNTED SITE LIGHTING FIXTURE
FIXTURE TYPE (SEE LIGHT FIXTURE SCHEDULE)

FLOOD LIGHT

WALL WASH LIGHT FIXTURE

EXIT SIGN, CEILING MOUNTED
ARROW INDICATES EGRESS DIRECTION
SHADING INDICATES SIGN FACE

EXIT SIGN, WALL MOUNTED
SHADING INDICATES SIGN FACE

DUAL HEAD EMERGENCY LIGHT BATTERY PACK
TD - TIME DELAY RESET

REMOTE EMERGENCY LIGHTING HEAD

WALL PACK

3-WAY TOGGLE SWITCH

SINGLE POLE TOGGLE SWITCH
INDICATES CONTROLLED FIXTURE

4-WAY TOGGLE SWITCH

DUAL LEVEL SWITCHING

DIMMER SWITCH, INCANDESCENT OR FLUORESCENT AS REQUIRED

TOGGLE SWITCH WITH PILOT LIGHT

TIMER SWITCH, SPRING WOUND

SINGLE POLE DOUBLE THROW TOGGLE SWITCH, CENTER POSITION OFF

WEATHER PROOF

EXPLOSION PROOF

OCCUPANCY SENSOR SWITCH

VACANCY SENSOR (MANUAL ON/AUTO OFF) SWITCH
W/INTEGRAL 0-10V DIMMING

OCCUPANCY SENSOR
a INDICATES CONTROLLED FIXTURE
INDICATES AIMING DIRECTION

OCCUPANCY SENSOR RELAY

DAYLIGHT SENSOR
LIGHTS CONTROLLED BY SENSOR

COMMUNICATION & DATA SYSTEMS

TELEPHONE SYSTEM WALL JACK
W-INDICATES WALL MOUNTED AT 60" AFF
P-INDICATES PAYPHONE
(Z)-INDICATES 2 OUTLETS, SINGLE BOX

DATA SYSTEM OUTLET

COMBINATION VOICE/DATA SYSTEM OUTLET
D-DATA LINE V-VOICE LINE I-TV VIDEO LINE

UNDERFLOOR TELEPHONE SYSTEM OUTLET

UNDERFLOOR DATA SYSTEM OUTLET

UNDERFLOOR VOICE & DATA OUTLET
CABLE TELEVISION SYSTEM OUTLET, MOUNT 18" AFF
UNLESS OTHERWISE NOTED

CLOSED CIRCUIT TELEVISION OUTLET, MOUNT 18" AFF
UNLESS OTHERWISE NOTED

PAGING SYSTEM CONTROL PANEL AND PAGING AMPLIFIER

PAGING SYSTEM SPEAKER, CEILING MOUNTED

PAGING SYSTEM SPEAKER, WALL MOUNT AT 7'-6" AFF
1. FLUSH, 2. SURFACE, 3. HORN, 4. DUAL HORN

VOLUME CONTROL

INTERCOM SYSTEM HAND KEY

CLOCK SPEAKER

INTERCOM SYSTEM HAND SET

WALL MOUNTED CLOCK

CEILING MOUNTED DATA SYSTEM OUTLET

EQUIPMENT MONITORING CONNECTION

POWER

NON-FUSED SAFETY SWITCH
AMPERE RATING
NEMA ENCLOSURE RATING

FUSED SAFETY SWITCH, TOP NUMBER INDICATES SWITCH
AMPERE RATING, LOWER NUMBER INDICATES FUSE RATING
NEMA ENCLOSURE

MAGNETIC MOTOR STARTER, FVNR UNLESS INDICATED OTHERWISE
INDICATES CIRCUIT BREAKER AMPERE RATING SECOND NUMBER INDICATES
NEMA STARTER SIZE

COMBINATION CIRCUIT BREAKER/MAGNETIC MOTOR STARTER FIRST NUMBER
NUMBERS INDICATE DISCONNECT AMPERE RATING/FUSE RATING/NEMA
STARTER SIZE

NON-FUSED DISCONNECT/MAGNETIC MOTOR STARTER FIRST NUMBER
INDICATES CIRCUIT BREAKER AMPERE RATING SECOND NUMBER
INDICATES NEMA STARTER SIZE

MANUAL MOTOR STARTER, TOGGLE OPERATED, 1,2 OR 3 POLE AS
REQUIRED, OVERLOAD PROTECTION

MANUAL MOTOR SWITCH, TOGGLE OPERATED, SINGLE PHASE, 1 OR 2
POLE AS REQUIRED (NO OVERLOAD PROTECTION)

ENCLOSED CIRCUIT BREAKER
AMPERE RATING

ELECTRIC MOTOR, NUMBER INDICATES HORSEPOWER RATING

EXPLOSION PROOF MOTOR

VARIABLE AIR VOLUME CONTROL ACTUATORS

LOCAL SELECTOR SWITCH
H/O/A - HAND/OFF/AUTO

EMERGENCY OFF BREAK GLASS STATION

PUSHBUTTON STATION

JUNCTION BOX

TRANSFORMER

POWER POLE

CONDUIT TURNING UP

CONDUIT TURNING DOWN

EY CONDUIT SEAL

DUPLEX RECEPTACLE, NEMA 5-20R
INSTALLED ON EMERGENCY CIRCUIT (TYPICAL)

GFI DUPLEX RECEPTACLE, NEMA 5-20R
PROVIDE WEATHER RESISTANT RECEPTACLE WITH
WEATHERPROOF IN-USE COVER

HOSPITAL GRADE DUPLEX RECEPTACLE, NEMA 5-20R

HOSPITAL GRADE GFCI DUPLEX RECEPTACLE, NEMA 5-20R

HOSPITAL GRADE ISOLATED GROUND DUPLEX RECEPTACLE, NEMA 5-20R

SINGLE RECEPTACLE, NEMA 5-20R

DOUBLE DUPLEX (QUADRUPLEX) RECEPTACLE, NEMA 5-20R

HOSPITAL GRADE DOUBLE DUPLEX RECEPTACLE NEMA 5-20R

SWITCHED RECEPTACLE

FLOOR OUTLET, DUPLEX RECEPTACLE, NEMA 5-20R

POWER RECEPTACLE, 480 VOLT NEMA CONFIGURATION AS NOTED.

POWER RECEPTACLE, 240 VOLT NEMA CONFIGURATION AS NOTED.

PANELBOARD, NORMAL POWER

PANELBOARD, EMERGENCY POWER

MULTI OUTLET ASSEMBLY

GRAPHIC CONTROL PANEL

BRANCH
CIRCUIT NUMBER
INDICATES PANEL NAME

EQUIPMENT TAG

HOME RUN TO INDICATED PANEL

FIRE ALARM

FIRE ALARM CONTROL PANEL

FIRE ALARM ANNUNCIATOR

FIRE ALARM MASTER BOX

FIRE ALARM MANUAL PULL STATION

FIRE ALARM SPEAKER/STROBE UNIT

FIRE ALARM AUDIBLE/VISIBLE
NOTIFICATION APPLIANCE (GENERAL
EVACUATION)

FIRE ALARM AUDIBLE/VISIBLE
NOTIFICATION APPLIANCE CLEAN
ROOM NOTIFICATION (LOCAL)

FIRE ALARM VISIBLE ONLY NOTIFICATION APPLIANCE
CANDELA INTENSITY-15/75 UNLESS OTHERWISE NOTED
CEILING MOUNTED

PHOTOELECTRIC SMOKE DETECTOR, CEILING MOUNTED
INDICATES AUXILIARY CONTACT.

FIXED TEMPERATURE HEAT DETECTOR, CEILING MOUNTED.
INDICATES EQUIPMENT INTERLOCKED WITH THE DETECTOR

CLEAN ROOM SMOKE DETECTOR

INDICATES EQUIPMENT INTERLOCKED WITH THE
SMOKE DETECTOR

HEAT DETECTOR, CEILING MOUNTED
COMBINATION RATE-OF-RISE/FIXED
TEMPERATURE

DUCT SMOKE DETECTOR, PHOTOELECTRIC WITH AUXILIARY CONTACT.

SPRINKLER SYSTEM FLOW SWITCH

SPRINKLER SYSTEM TAMPER SWITCH

FIRE ALARM SYSTEM MAGNETIC DOOR HOLDER

INTERLOCK RELAY

SMOKE DAMPER

DUCT SMOKE DETECTOR REMOTE TEST INDICATOR

KNOX BOX

SECURITY SYSTEMS

DOOR CONTACT

CARD READER

KEY PAD

CLOSED CIRCUIT TELEVISION CAMERA

ELECTRIC STRIKE

MAG LOCK

DOOR INTERLOCK SYSTEMS

ALL DOOR INTERLOCK SYSTEM COMPONENTS SHALL BE PROVIDED BY OWNER SECURITY
VENDOR. ALL PATHWAYS AND POWER TO DOOR OPERATORS BY ELECTRICAL CONTRACTOR.

WAVE SENSOR -

GROUNDING

GROUND ROD

EXOTHERMIC WELD CONNECTION

BOLTED CONNECTION

BARE COPPER CONDUCTOR RUN EXPOSED

BARE COPPER CONDUCTOR EMBEDDED IN CONCRETE OR BURIED

LINE TYPES

EXISTING

NEW

DEMOLITION

GENERAL NOTE

ALL GENERAL NOTES, SYMBOL LISTS, AND DETAILS ARE TO
BE CONSIDERED AS APPLICABLE TO ALL ELECTRICAL
DRAWINGS FOR THIS PROJECT. SYMBOLS AND
ABBREVIATIONS SHOWN ON THIS SHEET ARE FOR
REFERENCE ONLY AND DO NOT INDICATE THEIR
INCORPORATION IN THE DESIGN.

#10

ABBREVIATIONS

A-AMP AMPERE
AFF ABOVE FINISHED FLOOR
AFG ABOVE FINISHED GRADE
AHJ AUTHORITY HAVING JURISDICTION
AIC AMPERE INTERRUPTING CAPACITY
AWG AMERICAN WIRE GAUGE
BFG BELOW FINISHED GRADE
BOS BOTTOM OF STEEL
C CONDUIT, CONDUCTOR
CATV CABLE TELEVISION
CB CIRCUIT BREAKER
CCTV CLOSED CIRCUIT TELEVISION
CPT CONTROL POWER TRANSFORMER
CT CURRENT TRANSFORMER
CU COPPER
DACT DIGITAL ALARM COMMUNICATOR TRANSMITTER
DB DIRECT BURIED
DISC DISCONNECT
DN DOWN
EMT ELECTRICAL METALLIC TUBING
EWC ELECTRIC WATER COOLER
FAA FIRE ALARM ANNUNCIATOR
FACP FIRE ALARM CONTROL PANEL
FBO FURNISHED BY OTHERS
FU FUSE
FWE FURNISHED WITH EQUIPMENT
GEN GENERATOR
GFCI GROUND FAULT CIRCUIT BREAKER
GND GROUND
HP HORSEPOWER
HTR HEATER
IG ISOLATED GROUND
IMC INTERMEDIATE METAL CONDUIT
K KILO
KCMIL THOUSAND CIRCULAR MILS
KV KILVOLT
KVA KILOVOLT-AMPERE
KVAR KILOVOLT-AMPERE REACTIVE
KW KILOWATT
KWH KILOWATT-HOUR

LA LIGHTNING ARRESTER
LTG LIGHTING
MC METAL CLAD
MCB MAIN CIRCUIT BREAKER
MFR MANUFACTURER
MI MINERAL INSULATED
MLO MAIN LUG ONLY
MTD MOUNTED
MV MEDIUM VOLTAGE
NC NORMALLY CLOSED
NEC NATIONAL ELECTRICAL CODE
NEG NEGATIVE
NEUT NEUTRAL
NIC NOT IN CONTRACT
NO NORMALLY OPEN
NTS NOT TO SCALE
PF POWER FACTOR
PH PHASE
PVC POLYVINYL CHLORIDE
RGS RIGID STEEL CONDUIT
RSC RIGID STEEL CONDUIT
RTD RESISTANCE TEMPERATURE DETECTOR
SN SOLID NEUTRAL
STP SHIELDED TWISTED PAIR
STT SHIELDED TWISTED TRIPLET
SWBD SWITCHBOARD
SWGR SWITCHGEAR
TOS TOP OF STEEL
TRANSF TRANSFORMER
TVSS TRANSIENT VOLTAGE SURGE SUPPRESSOR
V VOLT
VA VOLT-AMPERE
VAR VOLT-AMPERE REACTIVE
WM WATT METER
WP WEATHER PROOF
XFMR TRANSFORMER
XP EXPLOSION PROOF

ELECTRICAL DEMOLITION NOTES:

1. WIRING FOR ALL EXISTING BRANCH CIRCUITS DEVICES TO BE DEMOLISHED AND NOT REUSED SHALL BE
REMOVED BACK TO THE PANELBOARD. THE ASSOCIATED CIRCUIT BREAKER SHALL BE TURNED OFF AND
MARKED AS SPARE IN THE PANELBOARD DIRECTORY. DO NOT ABANDON BRANCH CIRCUIT WIRING ABOVE
CEILINGS OR IN WIREWAYS.
2. ALL EXPOSED RACEWAYS AND CABLES IN FINISHED SPACES, NO LONGER IN USE, SHALL BE REMOVED.
3. MAINTAIN, OR RESTORE IF INTERRUPTED BY REMOVALS, OR IN PATH OF NEW CONSTRUCTION, ALL CONDUITS,
BRANCH CIRCUITS, AND FEEDERS PASSING THROUGH AND SERVICE UNDISTURBED AREAS (SHOWN OR NOT
SHOWN).
4. ALL EXISTING CONDUITS STUBBED THROUGH FLOORS OR ROOF, SERVING ITEMS TO BE REMOVED (SHOWN OR
NOT SHOWN), AND NOT REQUIRED TO BE REUSED, SHALL BE CUT OFF FLUSH WITH SLAB OR ROOF DECK AND
SEALED.
5. IN ANY AREA REQUIRING THE PERFORMANCE OF ANY TRADE'S WORK, ALL ELECTRICAL ITEMS WITHIN PATH OF
WORK SHALL BE CAREFULLY REMOVED AND STORED. ITEMS SHALL BE REINSTALLED AND RECONNECTED AS
REQUIRED TO RESTORE SYSTEM COMPONENTS, IN ACCORDANCE WITH PLANS, AND/OR AS DIRECTED AFTER
COMPLETION OF OTHER TRADES' WORK IN THAT AREA.
6. ALL EXISTING FIXTURES AND ELECTRICAL DEVICES TO BE REMOVED, AND NOT RELOCATED, SHALL BE TURNED
OVER TO THE OWNER. IF THE OWNER DECIDES THEY DO NOT WISH TO KEEP REMOVED ITEM, IT IS THE
RESPONSIBILITY OF THE EC TO REMOVE FROM SITE.

GENERAL ELECTRICAL NOTES:

1. ALL WORK SHALL BE INSTALLED IN A NEAT AND WORKMAN LIKE MANNER, RECTILINEAR TO BUILDING STRUCTURE,
AND IN ACCORDANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO NFPA 70, NFPA 90A, NFPA 101,
AND THE AUTHORITY HAVING JURISDICTION.
2. CONTRACTOR SHALL REVIEW ALL TRADES CONTRACT DOCUMENTS AND FIELD VERIFY TO DETERMINE SPECIFIC
MOUNTING LOCATIONS FOR ELECTRICAL EQUIPMENT AND CONDUITS.
3. COORDINATE ARRANGEMENTS, MOUNTING, AND SUPPORT OF ELECTRICAL CONDUIT AND EQUIPMENT TO PROVIDE
FOR EASE OF DISCONNECTING THE EQUIPMENT WITH MINIMUM INTERFERENCE TO OTHER INSTALLATION, TO
ALLOW RIGHT OF WAY FOR PIPING INSTALLED AT A REQUIRED SLOPE, AND SO CONNECTING RACEWAYS SHALL BE
CLEAR OF OBSTRUCTIONS AND OF THE WORKING AND ACCESS SPACE OF OTHER EQUIPMENT.
4. UNLESS OTHERWISE NOTED, CONVENIENCE RECEPTACLES AND DATA SYSTEM OUTLETS SHALL BE MOUNTED AT 18-
INCHES AFF. LIGHTING CONTROL DEVICES SHALL BE MOUNTED AT 48-INCHES AFF AND FIRE ALARM NOTIFICATION
DEVICES SHALL BE MOUNTED AT 80-INCHES AFF OR 6-INCHES BELOW CEILING, WHICHEVER IS LOWER.
5. ALL PENETRATIONS THROUGH FLOORS, RATED WALLS, AND PARTITIONS SHALL BE SEALED WITH UL APPROVED FIRE
SEALANT MATERIAL TO MAINTAIN THE RATING OF THE SEPARATION.
6. DEVICES SHALL NOT BE INSTALLED BACK-TO-BACK IN ADJACENT ROOMS. ADJUST LOCATIONS AS NECESSARY TO
AVOID THIS CONDITION.
7. ALL ENCLOSURES, CONDUIT BODIES, AND THEIR COVERS CONTAINING FIRE ALARM SYSTEM CONDUCTORS SHALL
BE PAINTED RED.
8. UNLESS OTHER NOTED, WIRING SHALL BE (2) #12 AWG CONDUCTORS AND #12 GND. HOME RUNS FED FROM 20A-1P
CIRCUITS IN EXCESS OF 100 FEET SHALL BE INCREASED TO A MINIMUM OF CONDUCTOR SIZE OF #10 AWG. RUN A
SEPARATE NEUTRAL WIRE FOR EACH DEDICATED BRANCH CIRCUIT INDICATED ON THE PLANS.
9. AN EQUIPMENT GROUNDING CONDUCTOR SHALL BE INSTALLED WITH EVERY FEEDER AND BRANCH CIRCUIT.
10. FLEXIBLE CONNECTIONS TO MOTORS SHALL BE LIQUID TIGHT FLEXIBLE METAL CONDUIT, UNLESS NOTED
OTHERWISE.
11. ALL CONVEINCE RECEPTACLES SHALL BE COMMERCIAL SPECIFICATION GRADE, GROUNDING, TYPE NEMA 5-20R,
SIDE WIRED. DEVICE COLORS AND ASSOCIATED FACEPLATES SHALL MATCH EXISTING FINISH COLOR.
12. ALL DEVICES SHALL BE LABELED WITH CIRCUIT NUMBER.
13. OCCUPANCY SENSORS SHALL BE DUAL TECHNOLOGY, HARDWIRED WITH POWER PACK AND MINIMUM COVERAGE
OF 1,000 SQ FT. PROVIDE (1) OCCUPANCY SENSOR FOR EVERY 800 SQ FT. ARRANGE SO NO AREA OF ROOM IS
WITHOUT COVERAGE. PROVIDE ADDITIONAL OCCUPANCY SENSORS AS REQUIRED TO ACHIEVE COVERAGE AS
INDICATED. PROVIDE MANUAL ON/OFF CONTROL AT EACH SPACE ENTRANCE.
14. ALL WIRING SHALL BE 800V, COPPER WITH THINWTHWN INSULATION.
15. COORDINATE FINAL LOCATION OF FIXTURE AND DEVICES WITH ARCHITECTURAL ELEVATIONS.
16. COORDINATE W/ CONTROLS CONTRACTOR TO PROVIDE POWER FOR ALL MISCELLANEOUS CONTROL OPERATORS
AND PANELS.
17. PROVIDE 3/8" NYLON PULL STRING IN ALL EMPTY SERVICE RACEWAYS.

0	PHASED FOR REBID	02-07-25
REV	DESCRIPTION	DATE

PHASED FOR REBID
02-07-25

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HOME; FAMILY & FRIENDS CENTER

40 OXFORD ST, MILLINOCKET, MAINE

LEGEND AND GENERAL NOTES

SHEET TITLE:



SCALE: AS NOTED

PROJECT MANAGER: RSC PROJECT NO: 23039

AVE OF RECORD: LIW

JOB CAPTAIN: ACL

DRAWN BY: LIW

SMRT FILE: E-001-23039 SHEET No. 23039

E-001

TYPICAL UTILITY SPACES (ELEC, MECH, DELIVERIES)

LIGHTING: 4' LENSED LED STRIPLIGHT WITH FIXED OUTPUT DRIVER. CONTROLS SHALL BE WALL MOUNTED TOGGLE SWITCHES IN ELECTRICAL AND MECHANICAL SPACES AND CEILING MOUNTED OCCUPANCY SENSORS IN DELIVERY SPACES. MINIMUM LIGHTING LEVEL: 30-50FC.

POWER: PROVIDE A MINIMUM OF (1) DUPLEX RECEPTACLE PER WALL WITHIN SPACE.

FIRE ALARM: PROVIDE HEAT/SMOKE DETECTOR IN ALL NORMALLY UNOCCUPIED SPACES. PROVIDE CARBON MONOXIDE DETECTOR IN ANY SPACE WITH FUEL BURNING EQUIPMENT.

TYPICAL RESTROOM

LIGHTING: COMBINATION OF (1) 6" DIA. RECESSED LED DOWNLIGHT CENTERED IN ROOM AND 2' LED VANITY LIGHT (TECH LIGHTING, CAT. NO. 700WSRVLLS*) LED CENTERED ABOVE MIRROR. BOTH FIXTURES SHALL HAVE FIXED OUTPUT DRIVERS. CONTROLS SHALL BE VIA WALL MOUNTED VACANCY SENSOR. MINIMUM LIGHTING LEVEL: 15-20FC.

POWER: PROVIDE (1) GFCI DUPLEX RECEPTACLE, INSTALLED AT 42" AFF. ABOVE SINK COUNTER.

LIGHTING: SEE ACTIVITY ROOM LIGHTING DESCRIPTION.

POWER: PROVIDE A MINIMUM OF (1) GFCI DUPLEX RECEPTACLE (INSTALLED ABOVE COUNTER) PER EVERY 3 LINEAR FEET OF COUNTER TOP. (1) DEDICATED DUPLEX RECEPTACLE AT REFRIGERATOR LOCATION.

PROVIDE NEW PLYWOOD BACKBOARD FOR MOUNTING OF TELECOMMUNICATION HARDWARE. SPACE SHALL BE ABLE TO SUPPORT A MINIMUM OF (1) WALL MOUNTED PATCH PANEL AND (1) WALL MOUNTED CATV DISTRIBUTION BOX AS WELL AS ALL OTHER ASSOCIATED EQUIPMENT. PROVIDE BACKBOARD WITH (1) DEDICATED QUADRAPLEX RECEPTACLE. COORDINATE WITH OWNER FOR EXACT LOCATION AND FOR CABLING REQUIREMENTS.

NEW 200A, 240/120V, 42, CKT SINGLE PHASE ELECTRICAL PANEL WITH FEEDTHROUGH LUGS FOR 42 CKT SUBPANEL

NEW SINGLE-PHASE, 200A ELECTRICAL UTILITY METER WITH INTEGRAL DISCONNECT - COORDINATE WITH VERSANT POWER FOR EXACT REQUIREMENTS.

APPROXIMATE LOCATION OF EXISTING MAIN CIRCUIT PANEL TO BE REMOVED - EXTEND ANY EXISTING BRANCH CIRCUITS THAT WILL REMAIN TO NEW PANEL LOCATION.

LIGHTING: COMBINATION OF (2) 6" DIA. RECESSED LED DOWNLIGHT, SPACED 6'-0" OC, CENTERED IN ROOM WITH 0-10V DIMMING DRIVER AND (2) THEMED DECORATIVE (GAME - VAXCAL LIGHTING, CAT. NO. W33355ANS); CONTROLS SHALL BE VIA WALL MOUNTED VACANCY SENSOR WITH INTEGRAL 0-10V DIMMING. MINIMUM LIGHTING LEVEL: 20-30FC.

POWER: PROVIDE A MINIMUM OF (1) DUPLEX RECEPTACLE WITHIN SPACE.

LIGHTING: 6" DIA. RECESSED LED DOWNLIGHTS (REFER TO ARCHITECTURAL REFLECTED CEILING PLAN) WITH 0-10V DIMMING DRIVER. CONTROLS SHALL BE VIA CEILING MOUNTED OCCUPANCY SENSOR AND WALL MOUNTED 0-10V DIMMER. MINIMUM LIGHTING LEVEL: 30-50FC.

POWER: PROVIDE A MINIMUM OF (1) DUPLEX RECEPTACLE FOR EVERY 12 LINEAR FEET OF WALL.

TYPICAL HALLWAY/CORRIDOR

LIGHTING: 6" DIA. RECESSED LED DOWNLIGHTS (REFER TO ARCHITECTURAL REFLECTED CEILING PLAN) WITH FIXED OUTPUT DRIVER. CONTROLS SHALL BE VIA CEILING MOUNTED OCCUPANCY SENSOR AND WALL MOUNTED THREE-WAY SWITCH. MINIMUM LIGHTING LEVEL: 10-20FC.

POWER: PROVIDE A MINIMUM OF (1) DUPLEX RECEPTACLE FOR EVERY 20 LINEAR FEET OF WALL.

LIGHTING: 22" DIA. SURFACE MOUNTED LOW PROFILE LED FIXTURE (WAC LIGHTING, CAT. NO. FM4622-3000K-WT) WITH ELECTRONIC LOW VOLTAGE (ELV) DIMMING DRIVER. CONTROLS SHALL BE VIA CEILING MOUNTED OCCUPANCY SENSOR AND WALL MOUNTED ELV DIMMER. MINIMUM LIGHTING LEVEL: 20-30FC.

POWER: PROVIDE A MINIMUM OF (1) DUPLEX RECEPTACLE FOR EVERY 12 LINEAR FEET OF WALL.

FIRE ALARM: PROVIDE A MINIMUM OF (1) CARBON MONOXIDE DETECTOR IN SPACE. PROVIDE SMOKE DETECTOR COVERAGE OF AREA.

QUIET ROOM 014, 016, 017

LIGHTING: COMBINATION OF (1) 6" DIA. RECESSED LED DOWNLIGHT CENTERED IN ROOM WITH 0-10V DIMMING DRIVER AND (1) WALL MOUNTED THEMED DECORATIVE SCENCE (SEE BELOW FOR MORE INFORMATION). CONTROLS SHALL BE VIA WALL MOUNTED VACANCY SENSOR WITH INTEGRAL 0-10V DIMMING. MINIMUM LIGHTING LEVEL: 20-30FC.

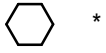
WALL SCONCES SHALL BE AS FOLLOWS:
- 014 (FUR): NORDIC STYLE HANGING WALL SCONCE
- 016 (FEATHER): HINKLEY LIGHTING, CAT. NO. NEST FR41612SLF (PROVIDE LED REPLACEMENT FIXTURE FOR SCONCE)
- 017 (FISH): ELK LIGHTING, CAT. NO. 105591 (PROVIDE LED REPLACEMENT FIXTURE FOR SCONCE)

POWER: PROVIDE A MINIMUM OF (1) DUPLEX RECEPTACLE WITHIN SPACE.

NOTES:

- SEE SHEET E-001 FOR LEGEND AND GENERAL NOTES.
- ALL EXISTING ELECTRICAL LIGHTING FIXTURES AND ASSOCIATED CONTROLS SHALL BE REMOVED.
- ALL 120V BRANCH CIRCUIT BREAKERS FEEDING OUTLETS, LIGHTING, OR OTHER DEVICES IN BEDROOMS, LIVING ROOMS, HALLWAYS, CLOSETS, BATHROOMS, OR AS OTHERWISE REQUIRED BY NEC, ARTICLE 210 SHALL BE ARC-FAULT CIRCUIT-INTERRUPTER TYPE.

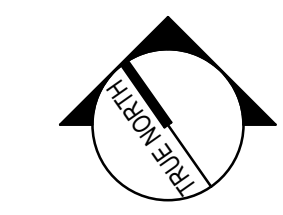
KEYED NOTES:



REV	DESCRIPTION	DATE
0	PHASED FOR REBID	02-07-25

PHASED FOR REBID
02-07-25

CURRENT ISSUE STATUS:



PROJECT NORTH:



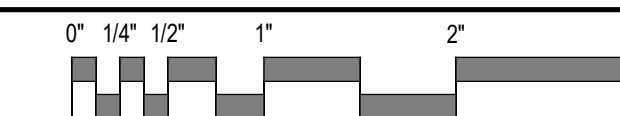
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WABANAKI PUBLIC HEALTH
WABANAKI WELLNESS RECOVERY
HOME; FAMILY & FRIENDS CENTER

40 OXFORD ST, MILLINOCKET, MAINE

BASEMENT ELECTRICAL PLAN

SHEET TITLE:



SCALE: AS NOTED

PROJECT MANAGER:	RSC	PROJECT NO:	23039
AVE OF RECORD:	LJW		
JOB CAPTAIN:	ACL		
DRAWN BY:	LJW		
SMRT FILE:	E-100-23039	SHEET No.	E-100

BASEMENT ELECTRICAL PLAN

1/4" = 1'-0"

A1

#10

E-101